

**Addendum Number 07
(July 18, 2024)**

To Drawings and Specifications dated 07/18/2024

EDINBURG CTE CENTER

Prepared By: PBK Architects, Inc.
601 NW Loop 410, Suite 400
San Antonio, Texas 78216

PBK Project No.: 20217

Notice to Proposers:

- A. Receipt of this Addendum shall be acknowledged on the Proposal Form.
- B. This Addendum forms part of the Contract documents for the above referenced project and shall be incorporated integrally therewith.
- C. Each proposer shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this Addendum shall govern.



GENERAL ITEMS


No.	Question	Response	Response By
001	Provide a specification for the car lifts (3 total)	See attached specifications	
002	Where is the location for the Jib and Bridge Lifts	See attached marked sheet for the proposed location. (finalize with owner)	
003	Sheet P-701- Fire Sprinkler Notes 1 and 2- water service and FDC- states to reference Civil for continuation- Civil does not address the continuation	Addressed with ADD#7. Updated C2 and added C2A for alternate and base bid items	
004	Also, if we are to tie into the main on the north side of the plan you are looking at over 1,000 feet run. This might be an issue for water pressure	updated C2 and added C2A for alternate and base bid items	
005	Alternate No. 1 canopy-calls for a canopy on the south side of A-B building. The structural does not show structural footings	See attached Structural drawings	
006	Need additional detail and scope for the removal of existing canopy or overhang at this same location	Removal of existing canopies will only be alternates as accepted. Base bid is to patch and repair. Replace existing canopy soffit is included in the Base bid.	
007	Are the sidewalks scheduled at the walkway canopies part of the alternate. If alternate is not accepted is sidewalks required	Sidewalks will be part of base bid	
008	South side of Area C- Alternate 1 Canopy- existing sidewalk does not show being removed	Sidewalk is part of base bid. See attached Sheet revised limits and estimated dimension.	

009	Area D- there is a small section of restroom renovation, and the other area says NIC. However, on plumbing drawings the underground sewer runs through the section of NIC. There are some existing walls and floor that might need to be removed and replaced to install plumbing	-Match existing wall finish in weight room. contractor to verify in field. -Fill void with concrete, reference structural drawings on psi concrete value	
010	Sewer on East side of building shown on the civil plans. Provide a note to remove and patch sidewalks	See attached Revised Sheets from CIVIL	
011	Alternate No. 2- entrance canopy- it appears there is a curved sidewalk with handicap ramp however, there is not detail or called scope- Detail 3 on sheetA-412 shows a curb and sidewalk but civil does not.	Refer to Architectural Details.	
012	Be more specific on what equipment is owner furnished	Welding, Barbering, Horticulture, Electrical, Diesel, Health Science, Computer Labs, and Open Access labs. Furniture is not in contract.	
013	Specifications but need more info on floor plans- cubicle curtains, corner guards-note where needed, emergency aid specialties- tank cabinets need size of tank plus just need location and quantity of each	(1) cubicle curtain in 143 HEALTH SCIENCE (45) Corner guards at all outside corners in corridors and Waiting/Lobby I believe we included (21) metal corner guards at the Electrical, Diesel, and Welding rooms as well, all outside corners.	
014	Location of each type of shelving, mobile storage shelving, wall mounted standards and metal storage shelving	Storage 141 - cantilevered shelving, hanging rods, and (3) built-in 6-shelf storage cubbies. Storage 164 - cantilevered shelving, hanging rods, (4) built-in 6-shelf storage cubbies, similar to above, plus (1) built-in 4-shelf storage unit. Book Room 128 - (4) 2'x5' shelves	
015	Gas cylinder brackets- need size of tanks	Questions need to be more specific. As for plumbing, sizes are called out for tank type equipment. Same as Mechanical.	
016	Horizontal blinds- there are only 2 exterior windows- provide location and type of windows	I don't believe we are using any window treatments. Location, refer to sheet A101 Type: Punched window	
017	Door finish schedule – does not show an OHD at B122B- is door B122B and B120B same type of door	Correct. Insulated Overhead Door	
018	Added Alternate #5	Base Bid Item: Provide connection from Riser Room to Water Main instead of to existing Riser Room. Domestic water service to tie to new Water Main along Veterans Boulevard. Alternate #5 Item: Provide connection from Riser Room to existing Riser Room in main building. Domestic water service to tie to existing water main along Ebony Ave at existing school entrance.	
019	Is the access ladder shown on detail 12 on sheet A512- existing or new	New. Refer to specifications.	
020	Can you call out the how the perforated metal panel on canopy is attached. Is this part of the canopy system by Avadek? Alternate No. 2	It will be bolted using a 3/8" SAE Grade 8 bolts @12"	
021	Can you provide the height of the canopies in Alternate No. 1	Field Verify existing opening for overhead doors. Bottom of Avadek soffit should be in line with OHD opening.	
022	Who is providing the refrigerators shown in Workroom 137 and Kitchenette 126	Owner-furnished, Contractor-installed.	
023	Are the units provided by owner?	Be specific with this question. There are different types of units in this project and they are scheduled.	

END OF ADDENDUM NO. 07

Project No. 20217 – EDINBURG CTE CENTER

SHEET TITLE
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 FOR BLUEBAM LABELING COOR.
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 Author
 Plot Stamp:
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ARCHITECT PBK Architects, Inc.
 MCALLEN
 6316 North 10th Street, Suite 1
 McAllen, TX 78504
 956-887-1330 P
 956-887-1331 F
 TX Firm F-1629

ENGINEER
 MELDEN & HUNT, INC.
 1100 E Ebony Ln.
 Edinburg, TX 78539
 TEL: 361-991-0991
 FAX: 361-991-0992
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PROFESSIONAL SEAL
 CIVIL ENGINEER
 CHAWN ENGINEERING
 1100 E Ebony Ln.
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PROFESSIONAL SEAL
 MECHANICAL ENGINEER
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PROFESSIONAL SEAL
 SURVEYOR
 MELDEN & HUNT, INC.
 1100 E Ebony Ln.
 Edinburg, TX 78539
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 FAX: 361-991-0992
 TX Firm F-1629

ECISD BARRIETES

EDINBURG CTE CENTER

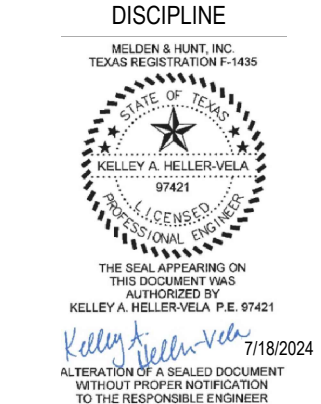
1100 E Ebony Ln.
Edinburg, TX 78539
ADDENDUM # 7



A	B
D	C

KEY PLAN


NORTH PLAN TRUE



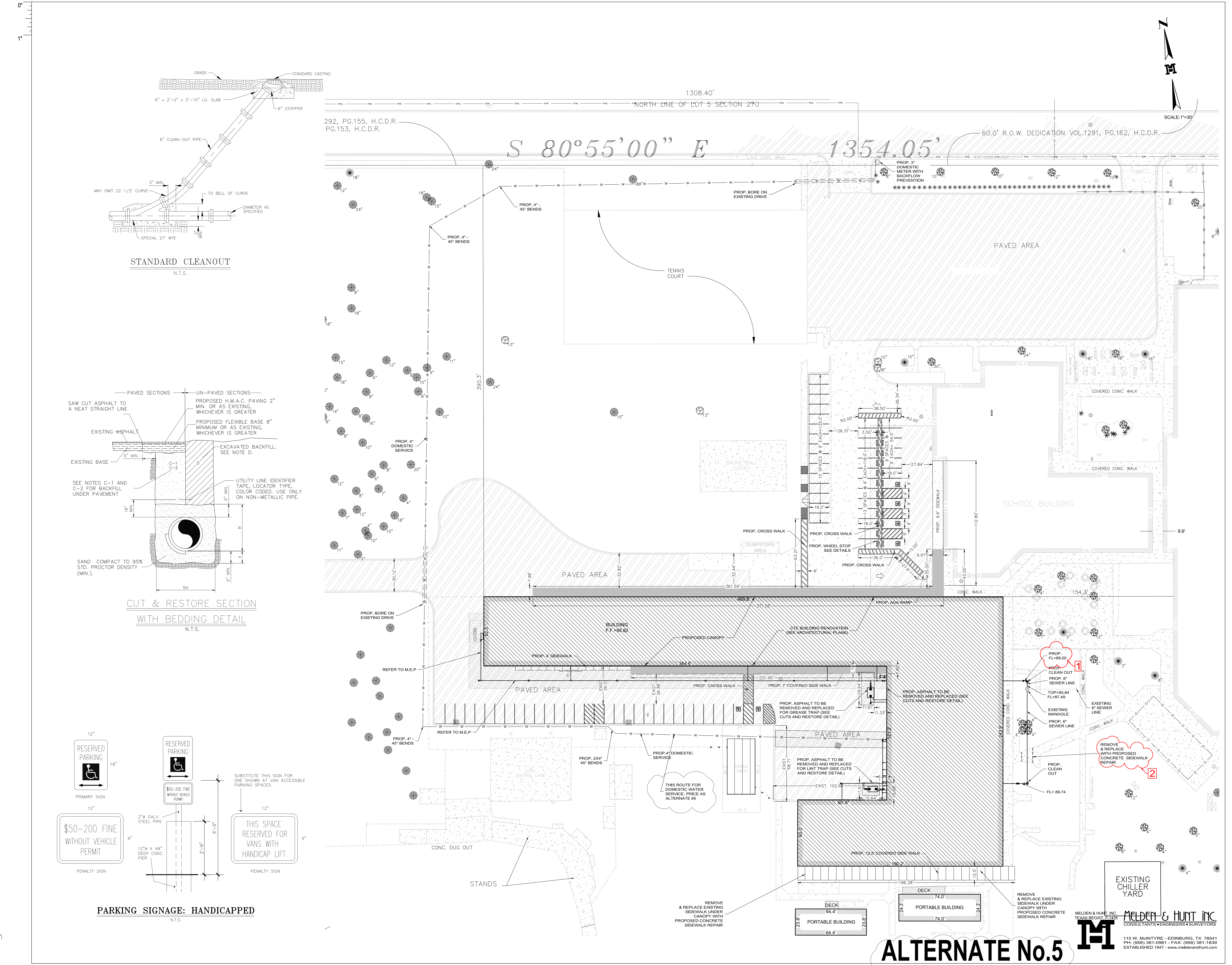
DISCIPLINE
 REGISTERED PROFESSIONAL ENGINEER
 KELLY A. WILLIAMS
 No. 0000000000
 EXPIRES 08/31/2024
 KELLY WILLIAMS, P.E.
 1100 E EBONY LN., SUITE 100
 EDINBURG, TX 78539
 TEL: 361-991-0991
 FAX: 361-991-0992
 TX FIRM F-1629

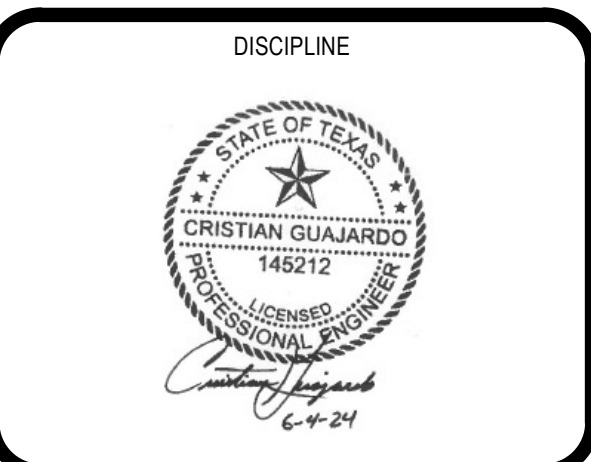
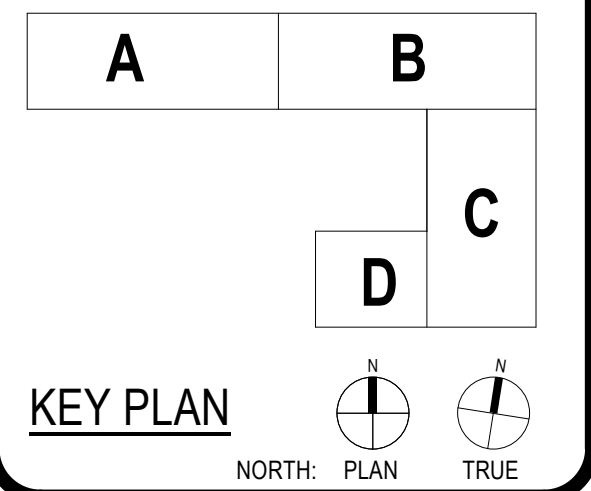
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No.	Description	Date
1	Add. #3	6/13/2024
2	Add. #7	7/18/2024
ADDENDUM#7		
BUILDING NUMBER		01

SITE PLAN



115 W. McINTYRE - EDINBURG, TX 78541
 PH: (956) 381-0981 - FAX: (956) 381-1839
 ESTABLISHED 1947 - www.meldenandhunt.com



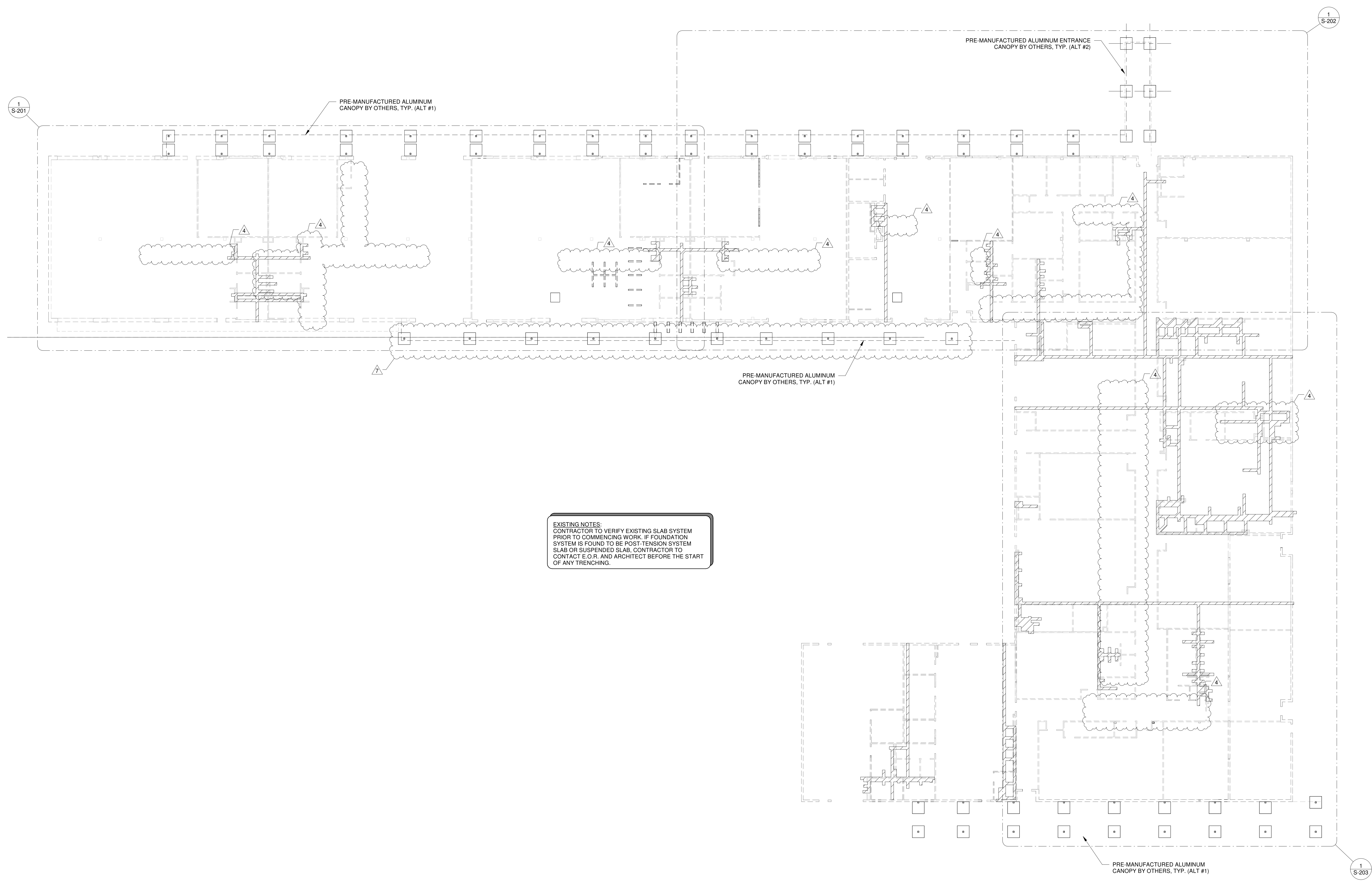


CLIENT		PROJECT NUMBER	
ECISD BARRIENTES		20215	
DATE		06/21/24	

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No.	Description	Date
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7	ADDENDUM #7	07/18/24

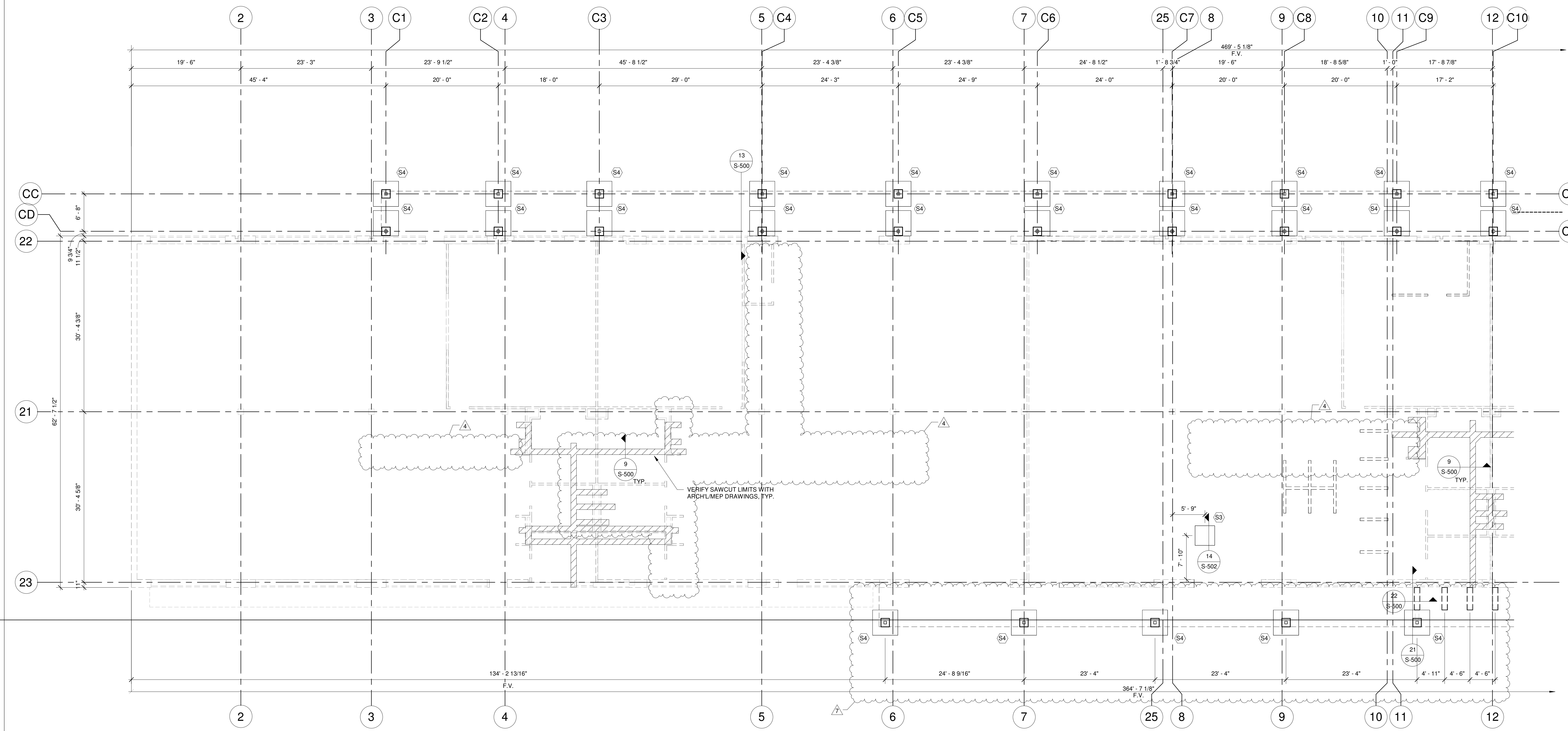
ADDENDUM #7
 BUILDING NUMBER 01

OVERALL NEW
 FOUNDATION PLAN



EXISTING NOTES:
 CONTRACTOR TO VERIFY EXISTING SLAB SYSTEM PRIOR TO COMMENCING WORK. IF FOUNDATION SYSTEM IS FOUND TO BE POST-TENSION SYSTEM SLAB OR SUSPENDED SLAB, CONTRACTOR TO CONTACT E.O.R. AND ARCHITECT BEFORE THE START OF ANY TRENCHING.

EXISTING NOTES:
 1. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO CONSTRUCTION.
 2. THIS IS RENOVATION PROJECT WHERE AS-BUILT DRAWINGS WERE NOT PROVIDED. CERTAIN UNFORESEEN AND UNKNOWN CONDITIONS MAY INCREASE THE COST OF PROJECT.
 3. CONTRACTOR SHALL CONTACT E.O.R. AND ARCHITECT ONCE STRUCTURE HAS BEEN EXPOSED TO VERIFY STRUCTURAL ASSUMPTIONS.



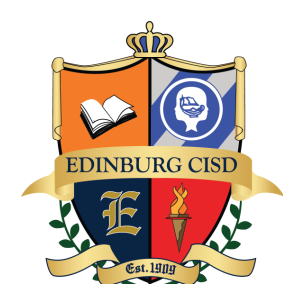
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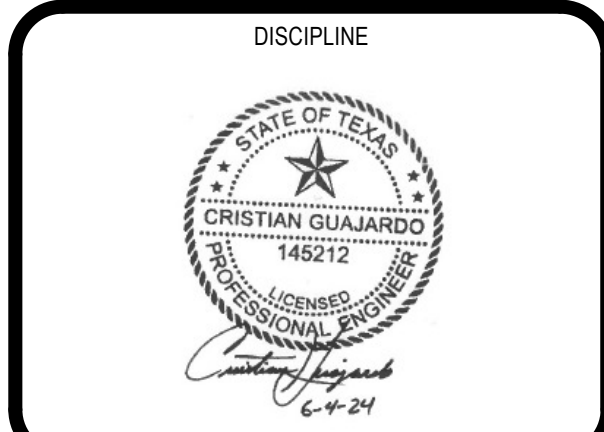
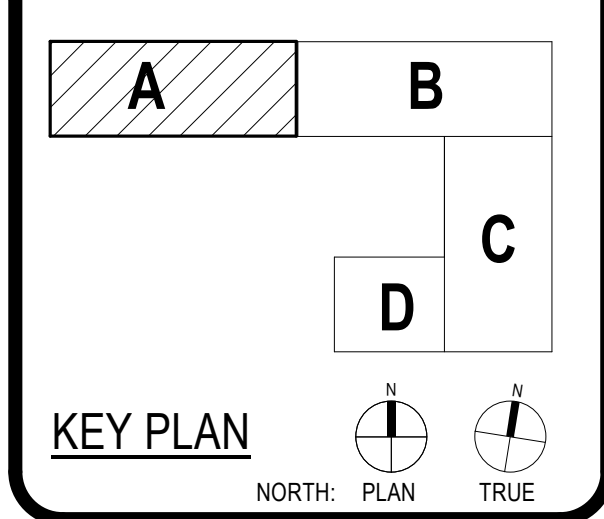
FOUNDATION NOTES:
 1. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS BEFORE COMMENCING WORK.
 2. CONTRACTOR TO VERIFY LOCATION OF ANY ALL DROPS AND DRAINS IN SLAB WITH ARCHITECTURAL DRAWINGS.
 3. REFER TO WALL LAYOUT PLAN, SHEET S-301 FOR ALL COLUMN SIZES, U.N.O.
 4. [Symbol] INDICATES 1 1/2" SLAB DEPRESSION, VERIFY EXACT LOCATION AND DEPTH WITH ARCHITECTURAL PLANS.
 5. REFER TO FOOTING SCHEDULE FOR FOOTING SIZE AND REINFORCEMENT. SEE DETAIL 10S-500
 6. FOR THICKENED SLAB UNDERNEATH ALL INTERIOR CMU WALLS, SEE DETAIL 8S-500
 7. CANOPIES SHALL BE PRE-ENGINEERED ALUMINUM BY OTHERS. CONTRACTOR SHALL SUBMIT REACTIONS AT COLUMN BASES TO VERIFY FOOTING DESIGN. ANY ADDITIONAL COST OF FOUNDATION WORK REQUIRED BY REVISIONS OF THE FOUNDATIONS SHALL NOT BE INCURRED ON STRUCTURAL ENGINEER.

ADDENDUM #7

ECISD BARRIENTES
 EDINBURG CTE CENTER



1100 E Ebony Ln.
 Edinburg, TX 78539
 ADDENDUM # 7



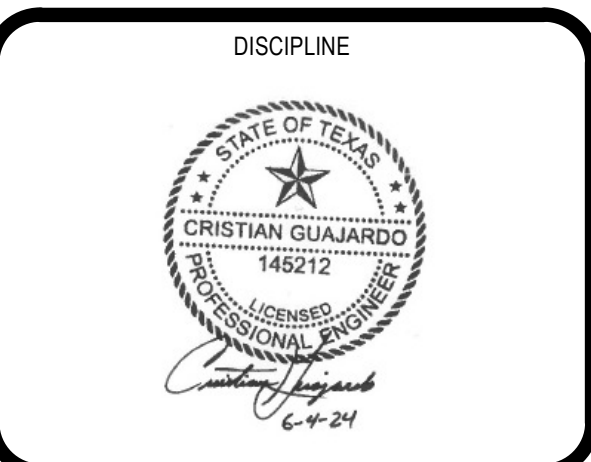
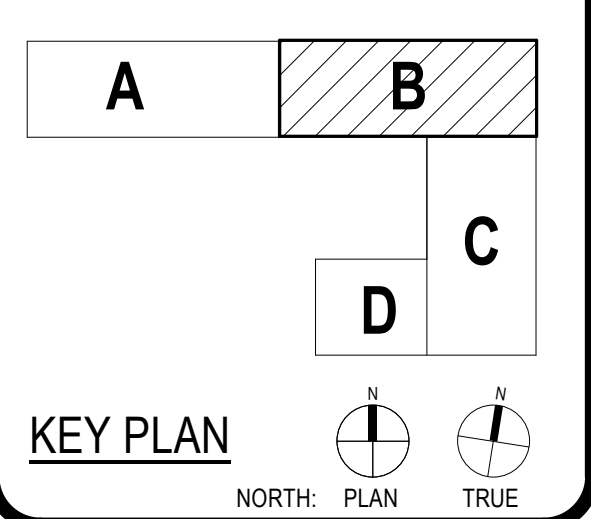
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06/21/24	20215	
DRAWING HISTORY		
No.	Description	Date
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7	ADDENDUM #7	07/18/24

ADDENDUM #7
 BUILDING NUMBER 01

PARTIAL NEW
 FOUNDATION PLAN -
 AREA A

ADDENDUM #7

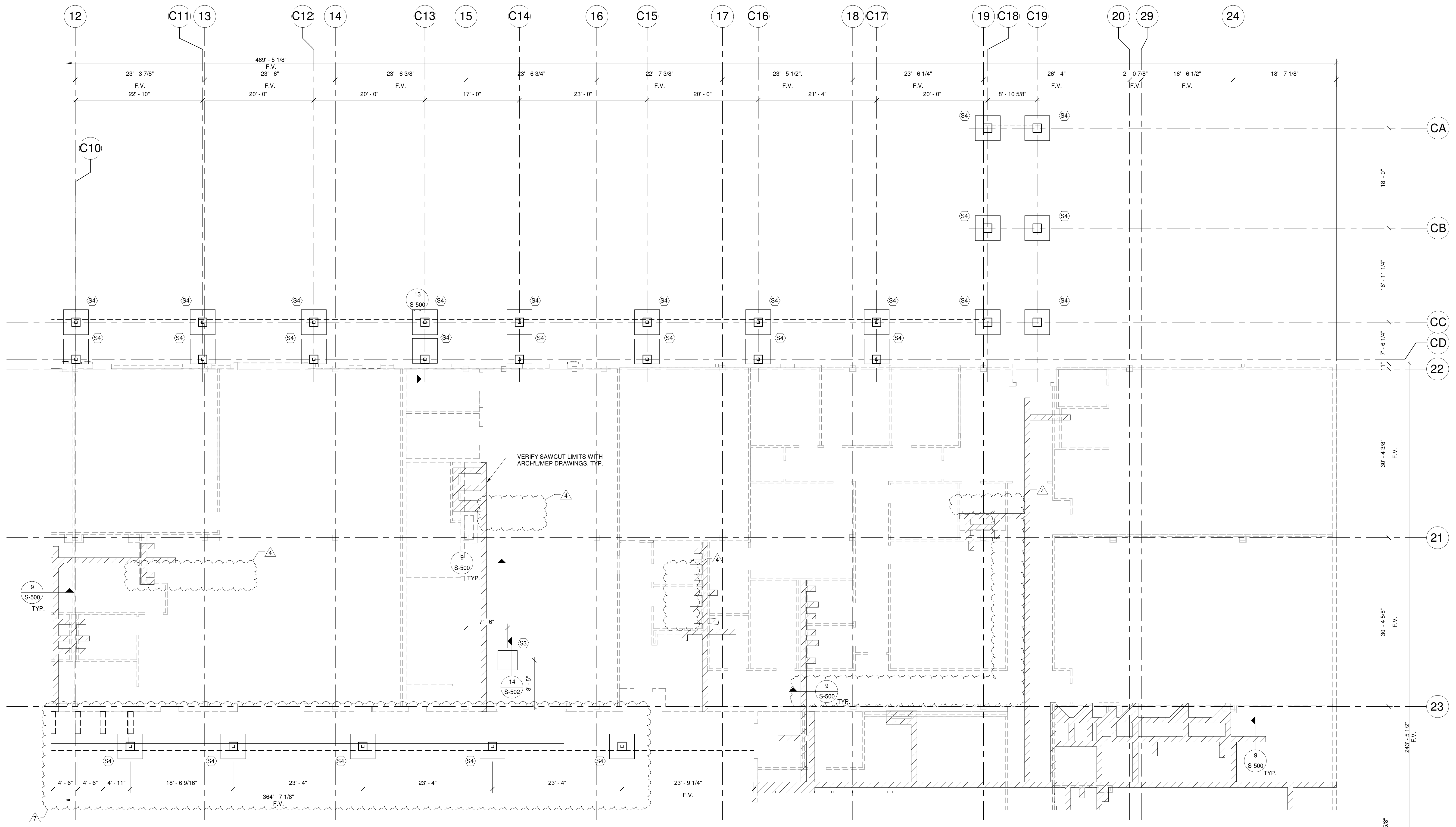
ECISD BARRIENTES
 EDINBURG CTE CENTER



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DRAWING HISTORY		
No.	Description	Date
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7	ADDENDUM #7	07/18/24

ADDENDUM #7
 BUILDING NUMBER 01

PARTIAL NEW
 FOUNDATION PLAN -
 AREA B



EXISTING NOTES:
 1. CONTRACTOR TO VERIFY EXISTING SLAB SYSTEM PRIOR TO COMMENCING WORK. IF FOUNDATION SYSTEM IS SUSPECTED TO BE POST-TENSION SYSTEM SLAB OR SUSPENDED SLAB, CONTRACTOR TO CONTACT E.O.R. AND ARCHITECT BEFORE THE START OF ANY TRENCHING.

EXISTING NOTES:
 1. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO CONSTRUCTION.
 2. THIS IS RENOVATION PROJECT WHERE AS-BUILT DRAWINGS WERE NOT PROVIDED. CERTAIN UNFORESEEN AND UNKNOWN CONDITIONS MAY INCREASE THE COST OF PROJECT.
 3. CONTRACTOR SHALL CONTACT E.O.R. AND ARCHITECT ONCE STRUCTURE HAS BEEN EXPOSED TO VERIFY STRUCTURAL ASSUMPTIONS.

FOUNDATIONS NOTES:
 1. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS BEFORE COMMENCING WORK.
 2. CONTRACTOR TO VERIFY LOCATION OF ANY WALL, DROPS AND DRAINS IN SLAB WITH ARCHITECTURAL DRAWINGS.
 3. REFER TO WALL LAYOUT PLAN, SHEET S-301 FOR ALL COLUMN SIZES, U.N.O.
 4. [Symbol] INDICATES 1 1/2" SLAB DEPRESSION, VERIFY EXACT LOCATION AND DEPTH WITH ARCHITECTURAL PLANS.
 5. REFER TO FOOTING SCHEDULE FOR FOOTING SIZE AND REINFORCEMENT. SEE DETAIL 10S-500.
 6. FOR THICKENED SLAB UNDERNEATH ALL INTERIOR CMU WALLS, SEE DETAIL 8/S-500.
 7. CHANGPIES SHALL BE PRE-ENGINEERED ALUMINUM BY OTHERS. CONTRACTOR SHALL SUBMIT REACTIONS AT COLUMN BASES TO VERIFY FOOTING DESIGN. ANY ADDITIONAL COST OF FOUNDATION WORK REQUIRED BY REVISIONS OF THE FOUNDATIONS SHALL NOT BE INCURRED ON STRUCTURAL ENGINEER.

VERIFY SAWCUT LIMITS WITH ARCHITECTURAL DRAWINGS, TYP.

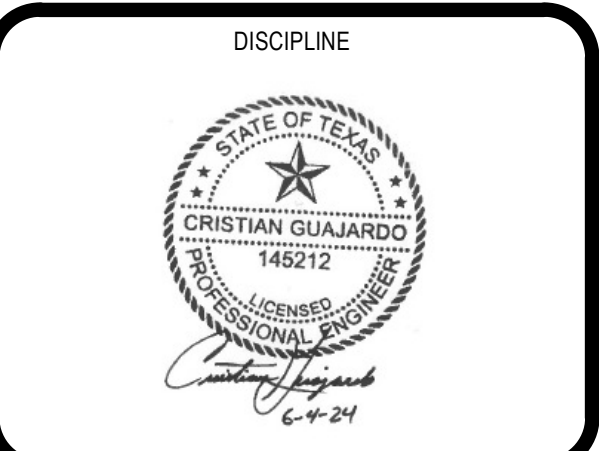
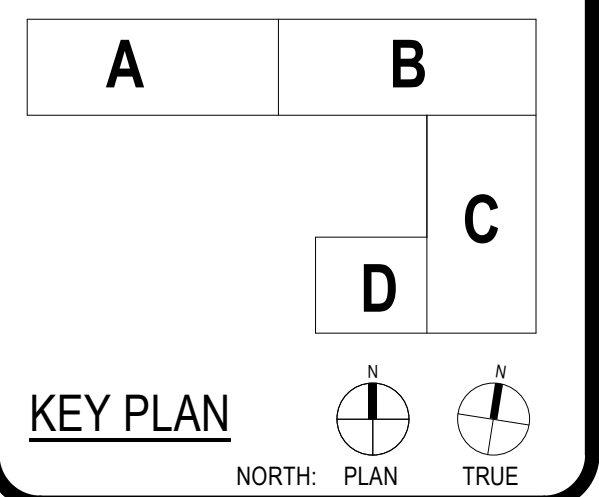
9 S-500 TYP.

9 S-500 TYP.

14 S-502 8'-5" TYP.

9 S-500 TYP.

9 S-500 TYP.

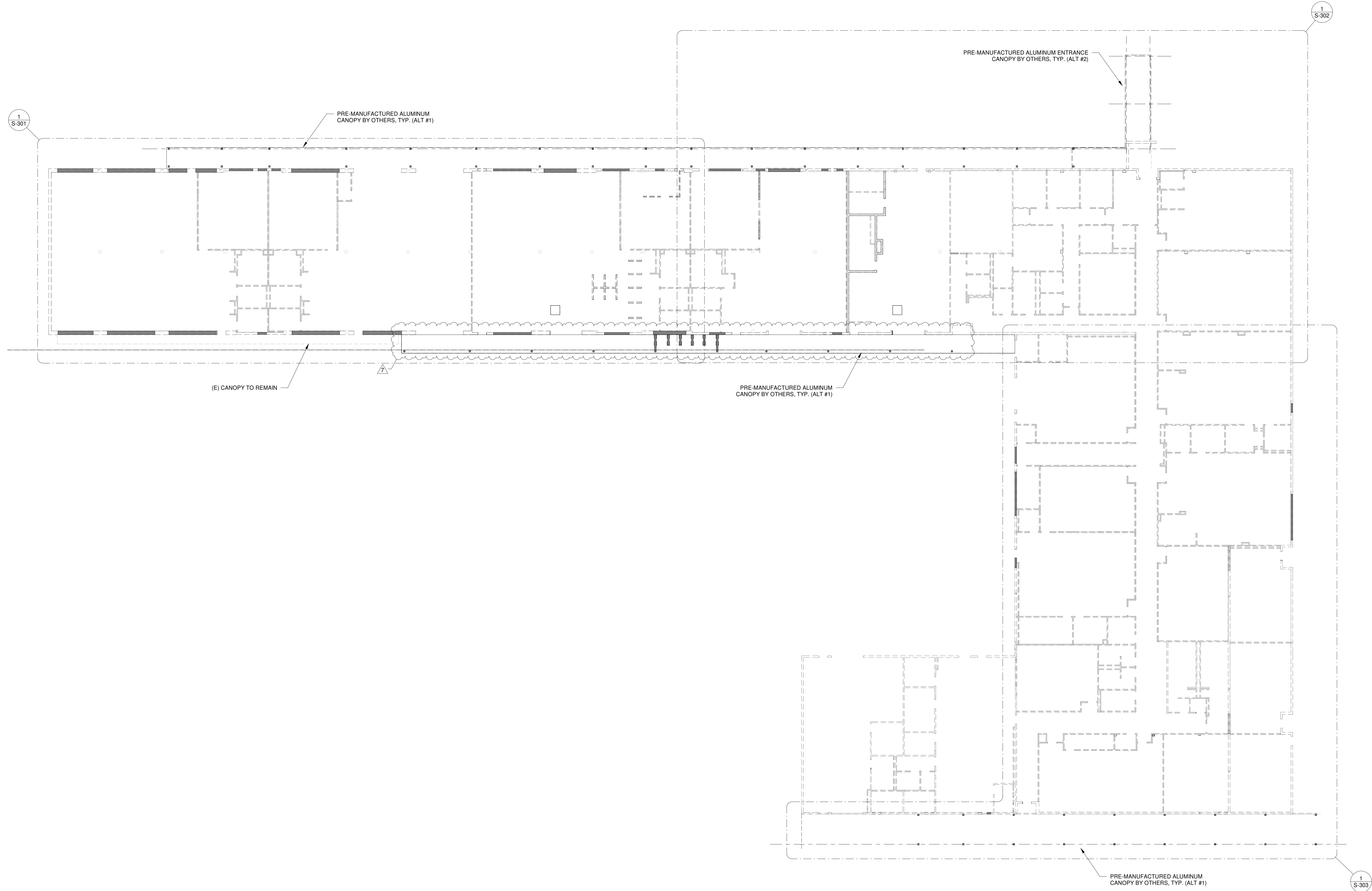


CLIENT	ECISD BARRIENTES
DATE	06/21/24
PROJECT NUMBER	20215

No.	Description	Date
7	ADDENDUM #7	07/18/24

ADDENDUM #7
 BUILDING NUMBER 01

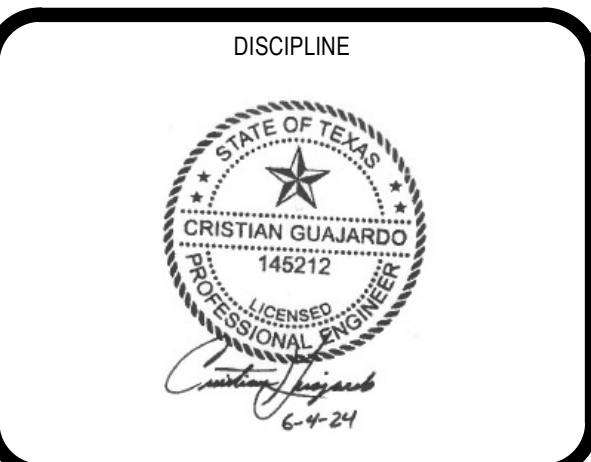
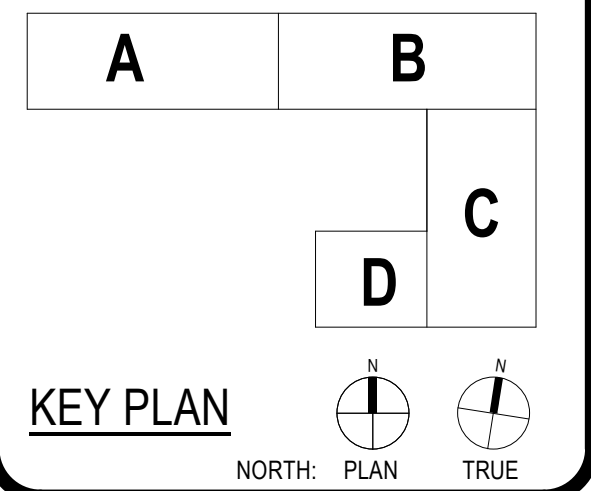
**OVERALL NEW WALL
 LAYOUT PLAN**



ADDENDUM #7

**ECISD BARRIENTES
 EDINBURG CTE CENTER**

1100 E Edinburg Ln.
 Edinburg, TX 78539
 ADDENDUM # 7



CLIENT: **ECISD BARRIENTES**

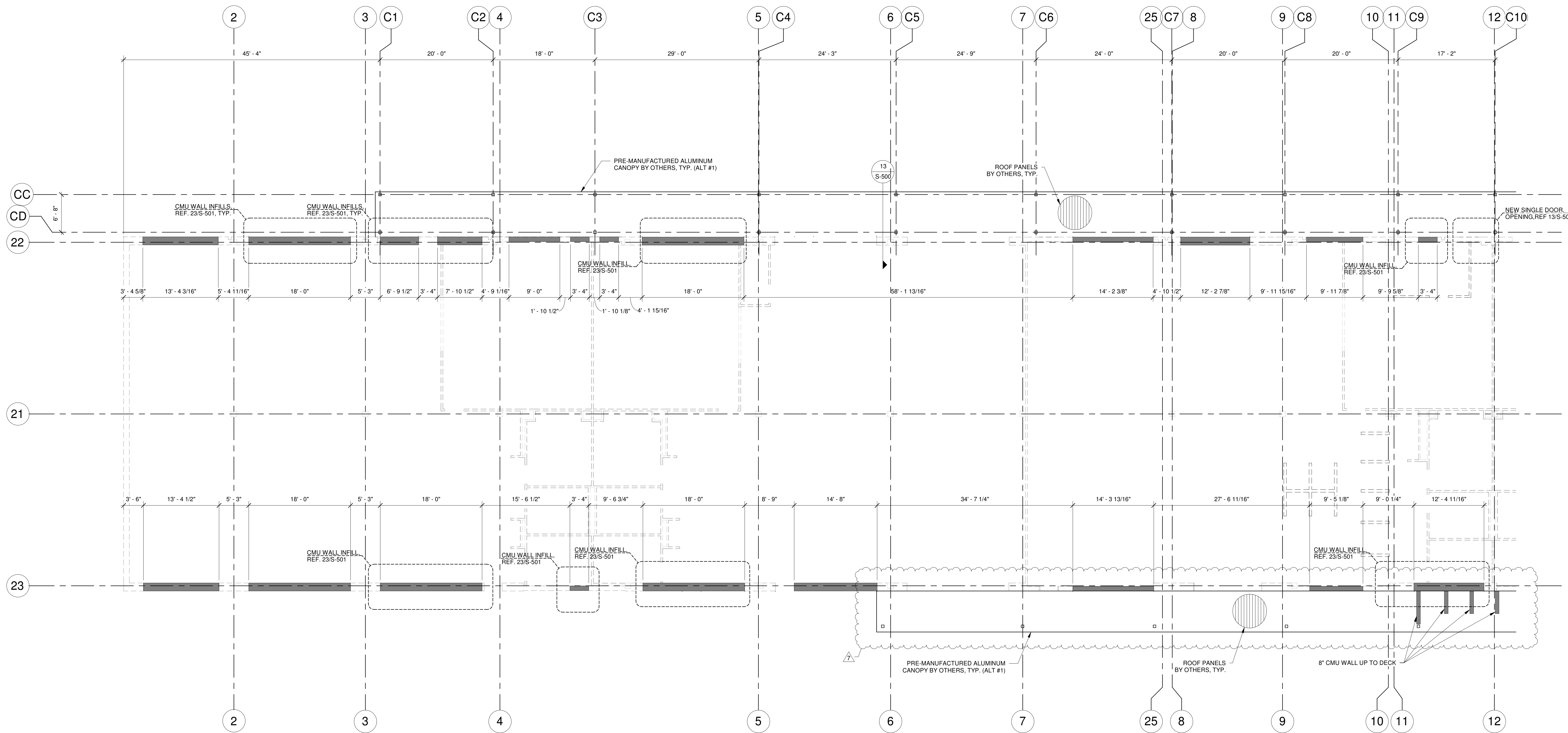
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No.	Description	Date
7	ADDENDUM #7	07/18/24

ADDENDUM #7
 BUILDING NUMBER: 01

**PARTIAL NEW WALL
 LAYOUT PLAN -
 AREA A**

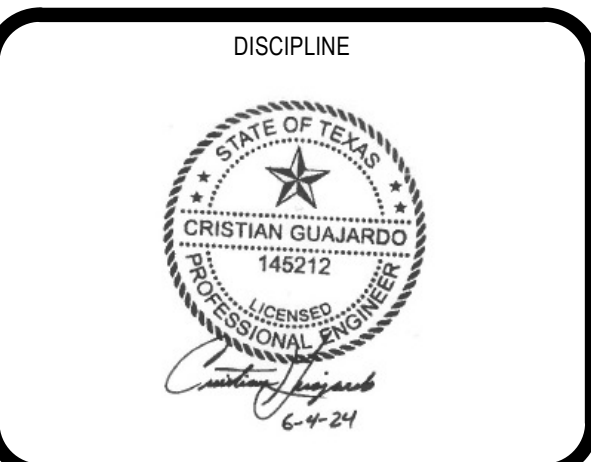
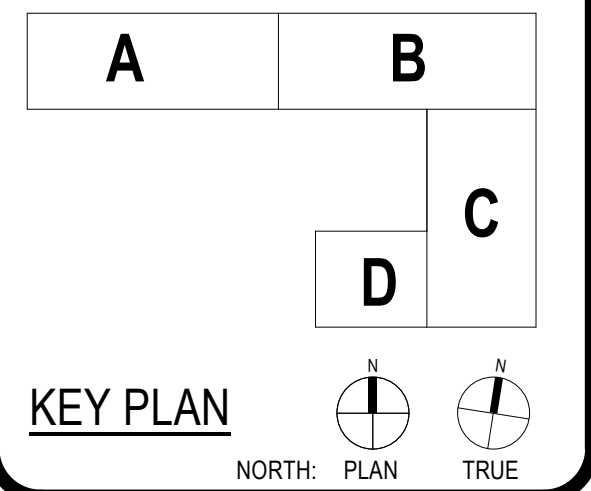
ADDENDUM #7



NEW CMU WALL LAYOUT NOTES:

- IF ANY DISCREPANCIES ARE FOUND BETWEEN THESE DRAWINGS AND THE ARCHITECTURAL DRAWINGS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER BEFORE COMMENCING CONSTRUCTION.
- FOR TYPICAL CMU WALL CONSTRUCTION SEE SHEET S501
- FOR TYPICAL ATTACHMENT AT THE TOP OF ALL INTERIOR CMU WALLS (INCLUDING THOSE NOT SHOWN ON THIS PLAN) SEE DETAILS 24.25, 29.30/S-501
- INDICATES EXTERIOR 8" CMU WALL WITH #6 (V) AT 32" O.C. AND #5 (H) AT 8" O.C. U.N.O.
- INDICATES INTERIOR 8" CMU WALL WITH #5 (V) AT 48" O.C. AND #5 (H) AT 8" O.C. U.N.O.
- INDICATES CMU LINTEL. SEE DETAIL 8/S-501
- FOR SPECIAL INSPECTION REQUIREMENTS SEE GENERAL NOTES.
- ALL TOP OF WALLS FROM FINISH FLOOR ELEVATION 0'-0"
- SEE ARCHITECTURAL PLANS FOR EXACT LOCATION, LENGTH, AND HEIGHT OF ALL OPENINGS IN CMU WALLS.
- FOR CONTROL JOINT LOCATIONS, SEE ARCHITECTURAL DRAWINGS.
- PROVIDE CMU LINTEL OVER ALL MECHANICAL SYSTEM PENETRATIONS IN CMU WALL. COORDINATE WITH MEP DRAWINGS FOR ALL LOCATIONS.
- 8" CMU WALL IS A NOMINAL DIMENSION, ACTUAL WIDTH IS 7 5/8"
- ALL EXPOSED STRUCTURAL STEEL CANOPY MEMBERS SHALL BE HOT-DIPPED GALVANIZED.

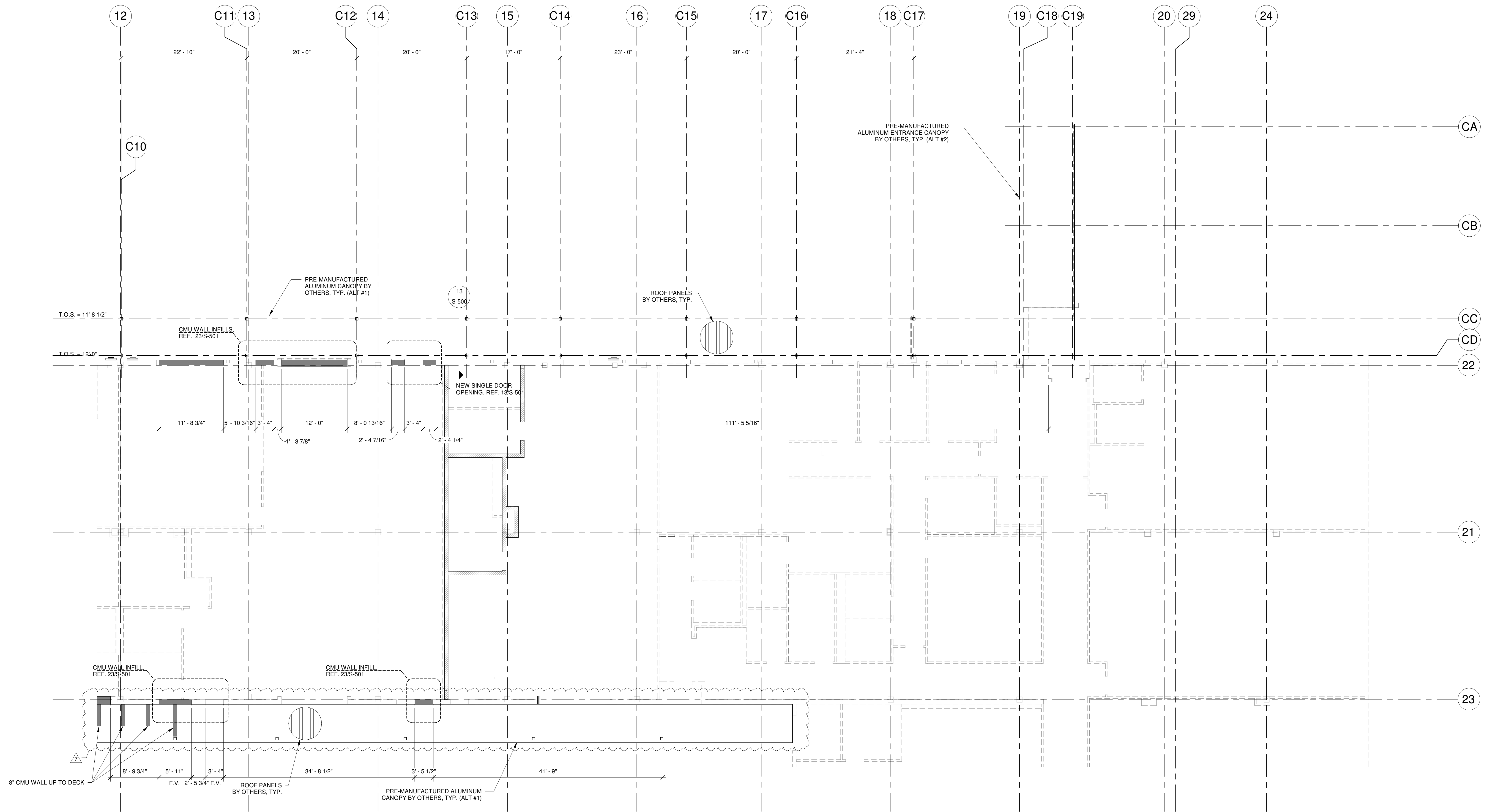
1 NEW WALL LAYOUT PLAN - AREA A
 1/8" = 1'-0"



CLIENT		ECISD BARRIENTES
DATE	06/21/24	PROJECT NUMBER
DRAWING HISTORY		20215
No.	Description	Date
7	ADDENDUM #7	07/18/24
ADDENDUM #7		
BUILDING NUMBER	01	

**PARTIAL NEW WALL
 LAYOUT PLAN -
 AREA B**

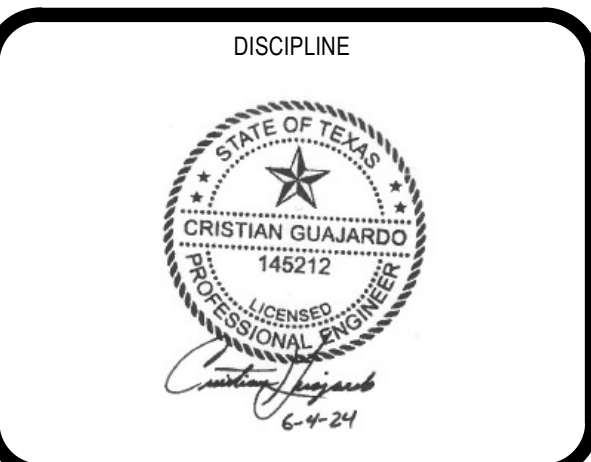
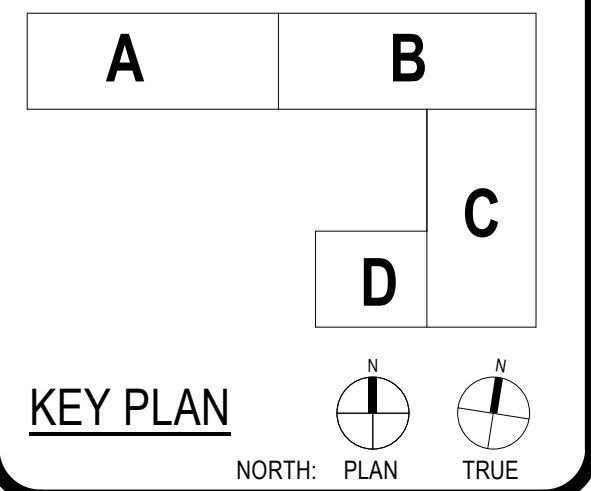
ADDENDUM #7



- NEW CMU WALL LAYOUT NOTES:**
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 - FOR TYPICAL CMU WALL CONSTRUCTION SEE SHEET S301
 - FOR TYPICAL ATTACHMENT AT THE TOP OF ALL INTERIOR CMU WALLS (INCLUDING THOSE NOT SHOWN ON THIS PLAN) SEE DETAILS 24, 25, 29, 30, S-501
 - INDICATES EXTERIOR 8" CMU WALL WITH #6 (V) AT 32" O.C. AND #5 (H) AT 8" O.C., U.N.O.
 - INDICATES INTERIOR 8" CMU WALL WITH #5 (V) AT 48" O.C. AND #5 (H) AT 8" O.C., U.N.O.
 - INDICATES CMU LINTEL. SEE DETAIL S/S-501
 - FOR SPECIAL INSPECTION REQUIREMENTS SEE GENERAL NOTES.
 - ALL TOP OF WALLS FROM FINISH FLOOR ELEVATION 0'-0".
 - SEE ARCHITECTURAL PLANS FOR EXACT LOCATION, LENGTH, AND HEIGHT OF ALL OPENINGS IN CMU WALLS.
 - FOR CONTROL JOINT LOCATIONS, SEE ARCHITECTURAL DRAWINGS.
 - PROVIDE CMU LINTEL OVER ALL MECHANICAL SYSTEM PENETRATIONS IN CMU WALL. COORDINATE WITH MEP DRAWINGS FOR ALL LOCATIONS.
 - 8" CMU WALL IS A NOMINAL DIMENSION, ACTUAL WIDTH IS 7.58".
 - ALL EXPOSED STRUCTURAL STEEL CANOPY MEMBERS SHALL BE HOT-DIPPED GALVANIZED.

1 NEW WALL LAYOUT PLAN - AREA B
 1/8" = 1'-0"

S-302 PARTIAL NEW WALL LAYOUT PLAN - AREA B
 FOR BLUEBEAM LABELING ONLY
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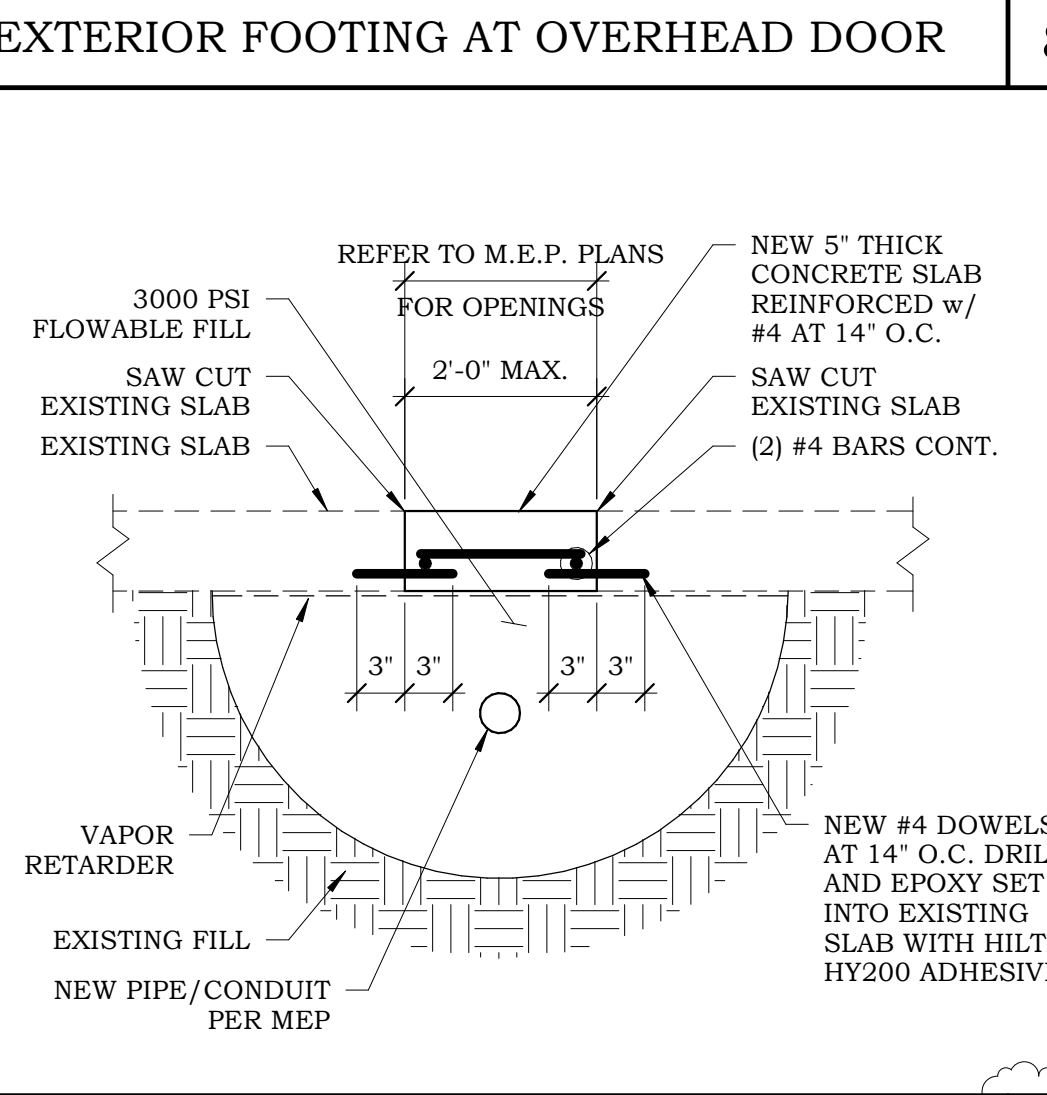
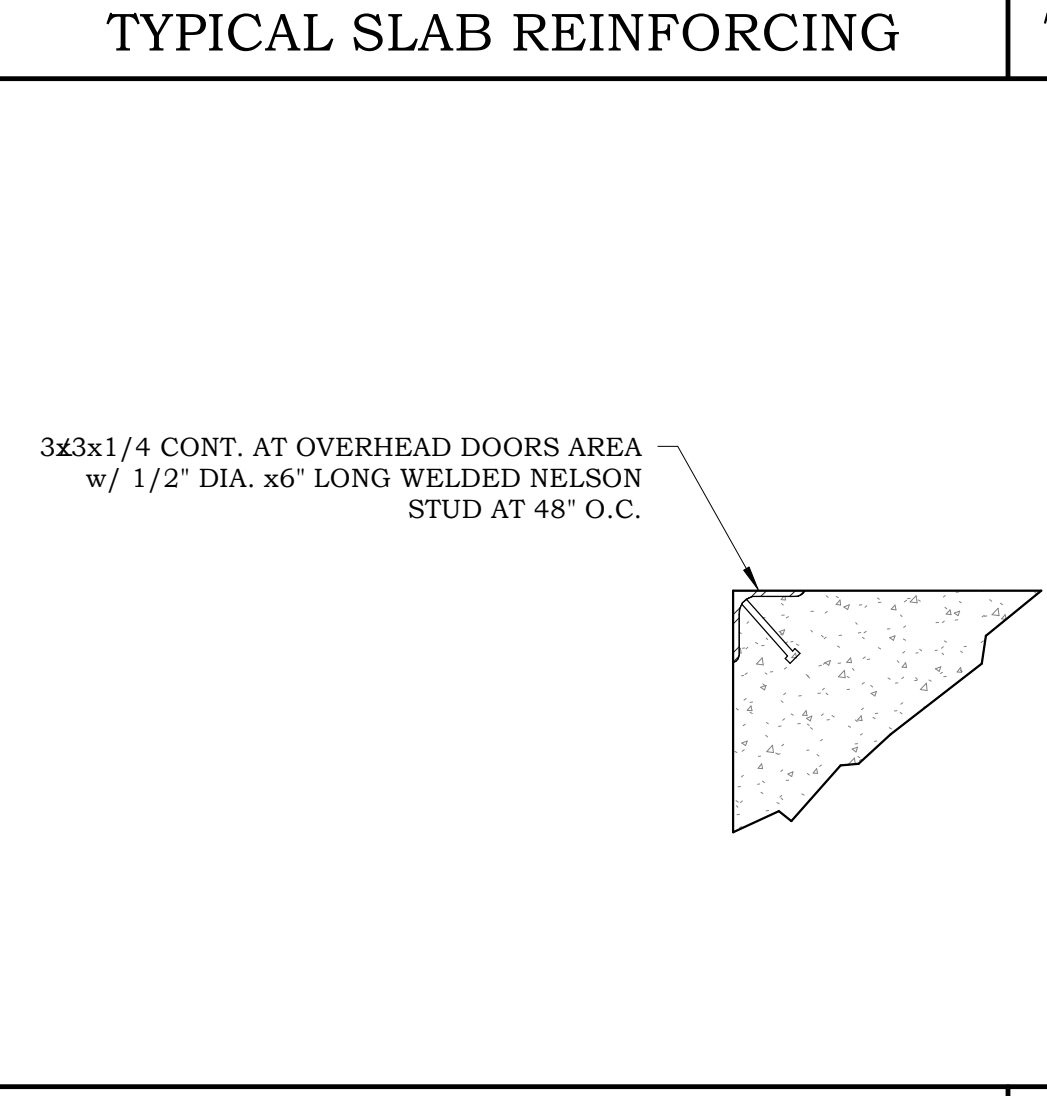
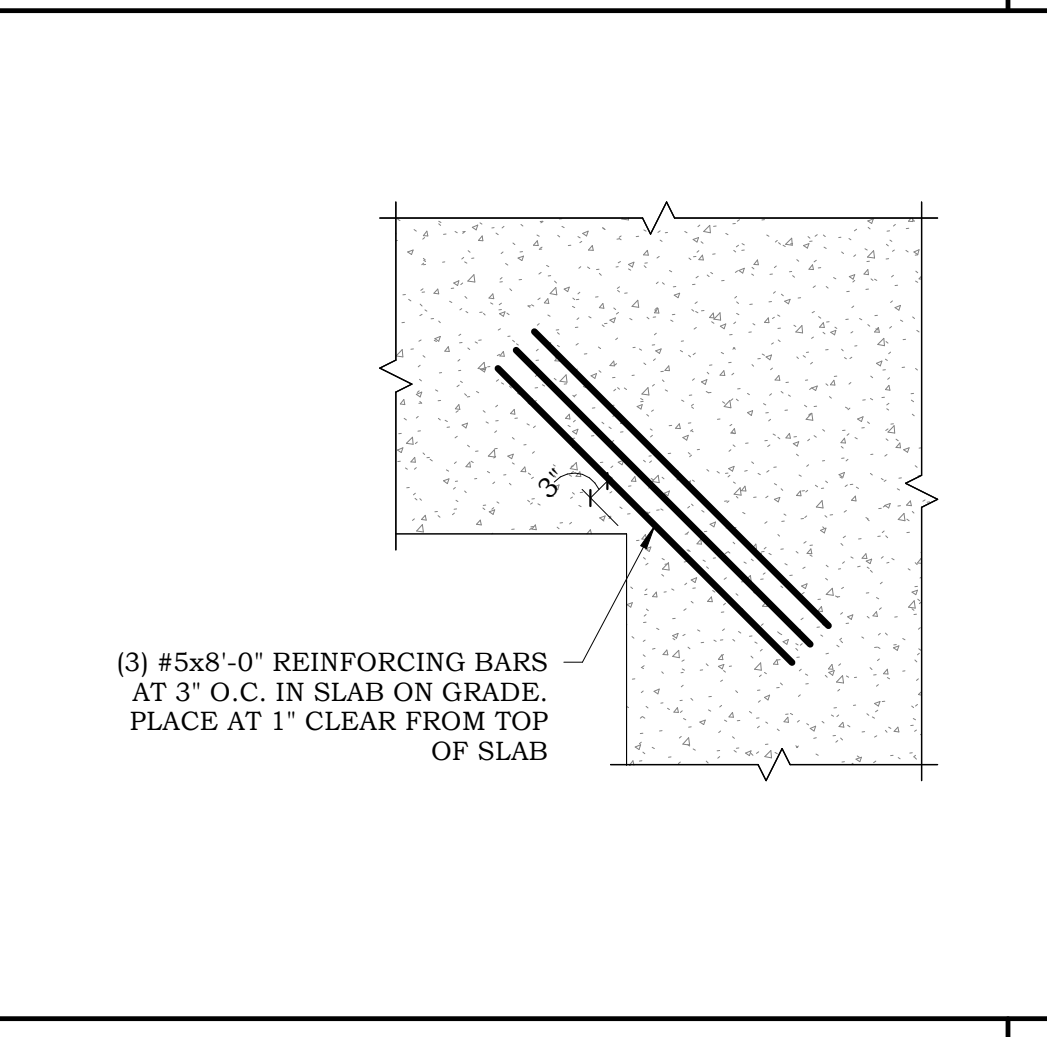
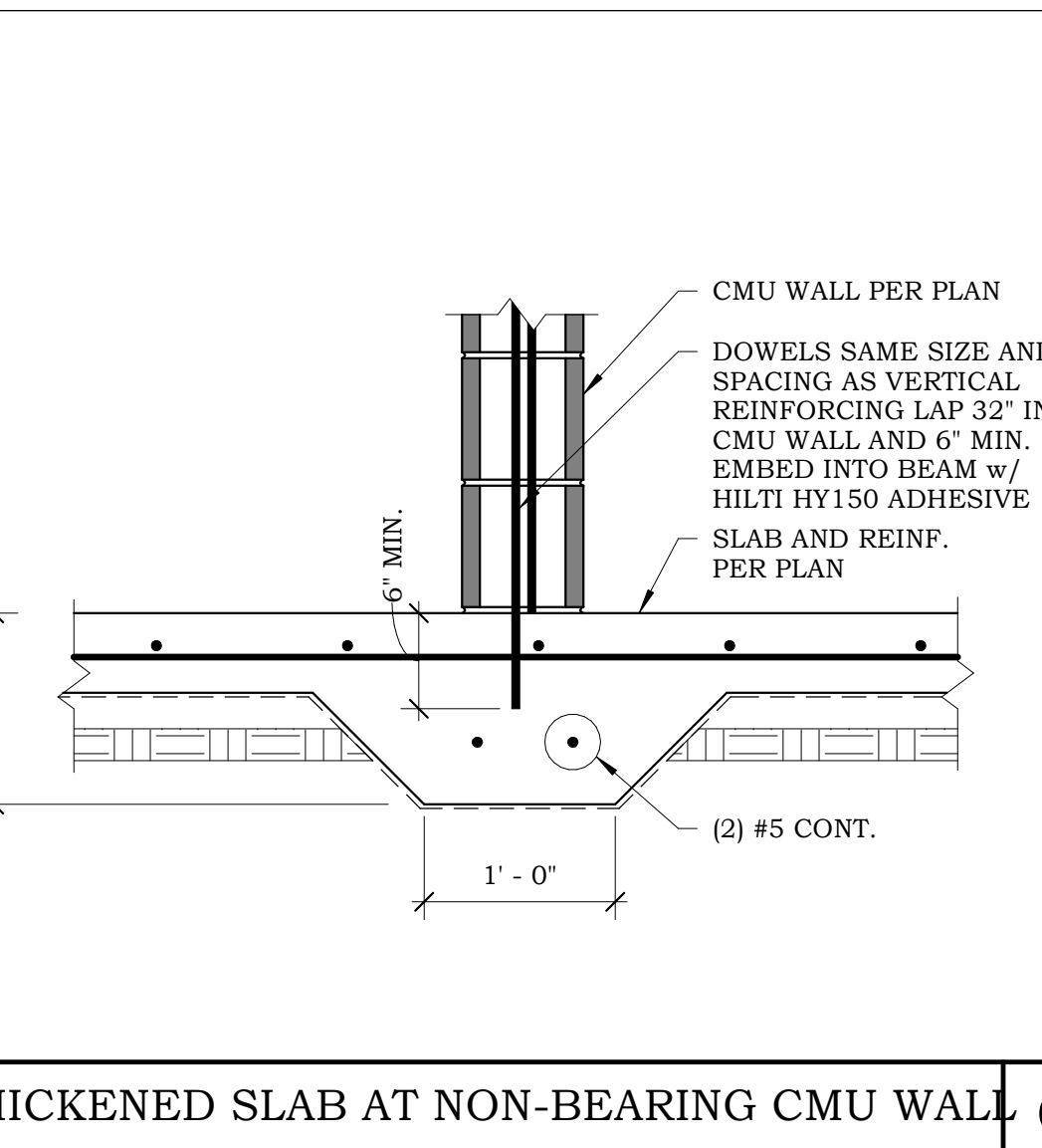
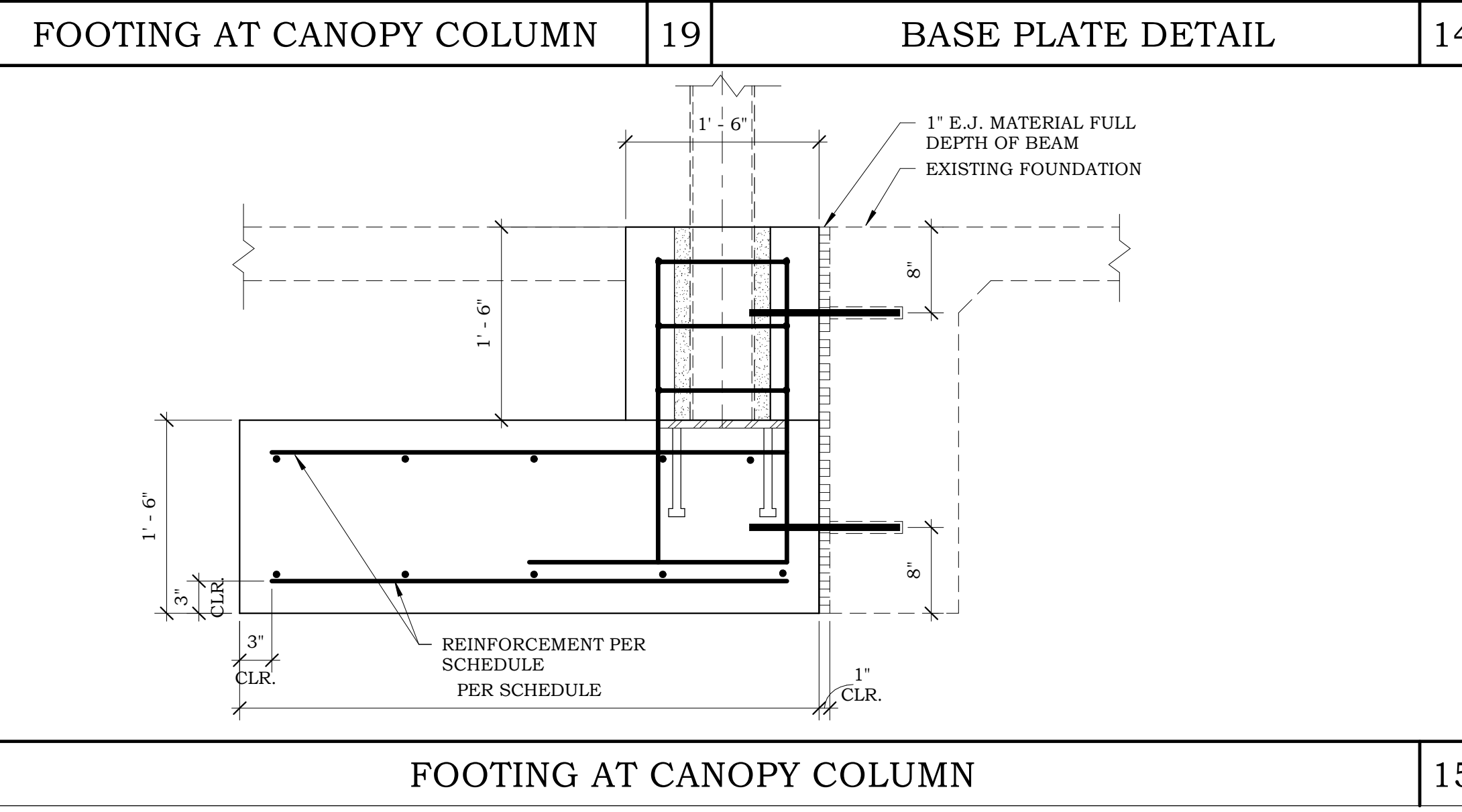
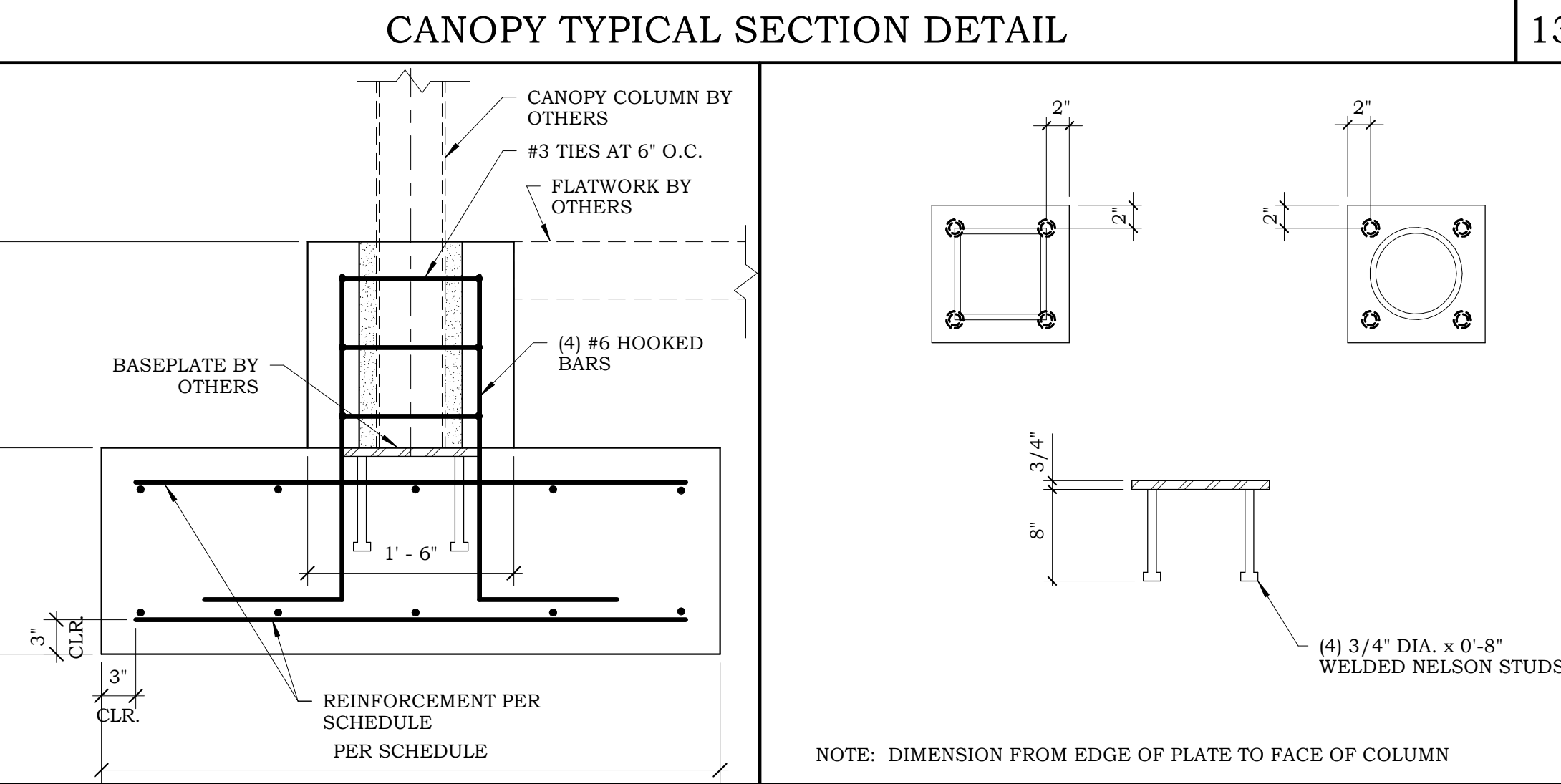
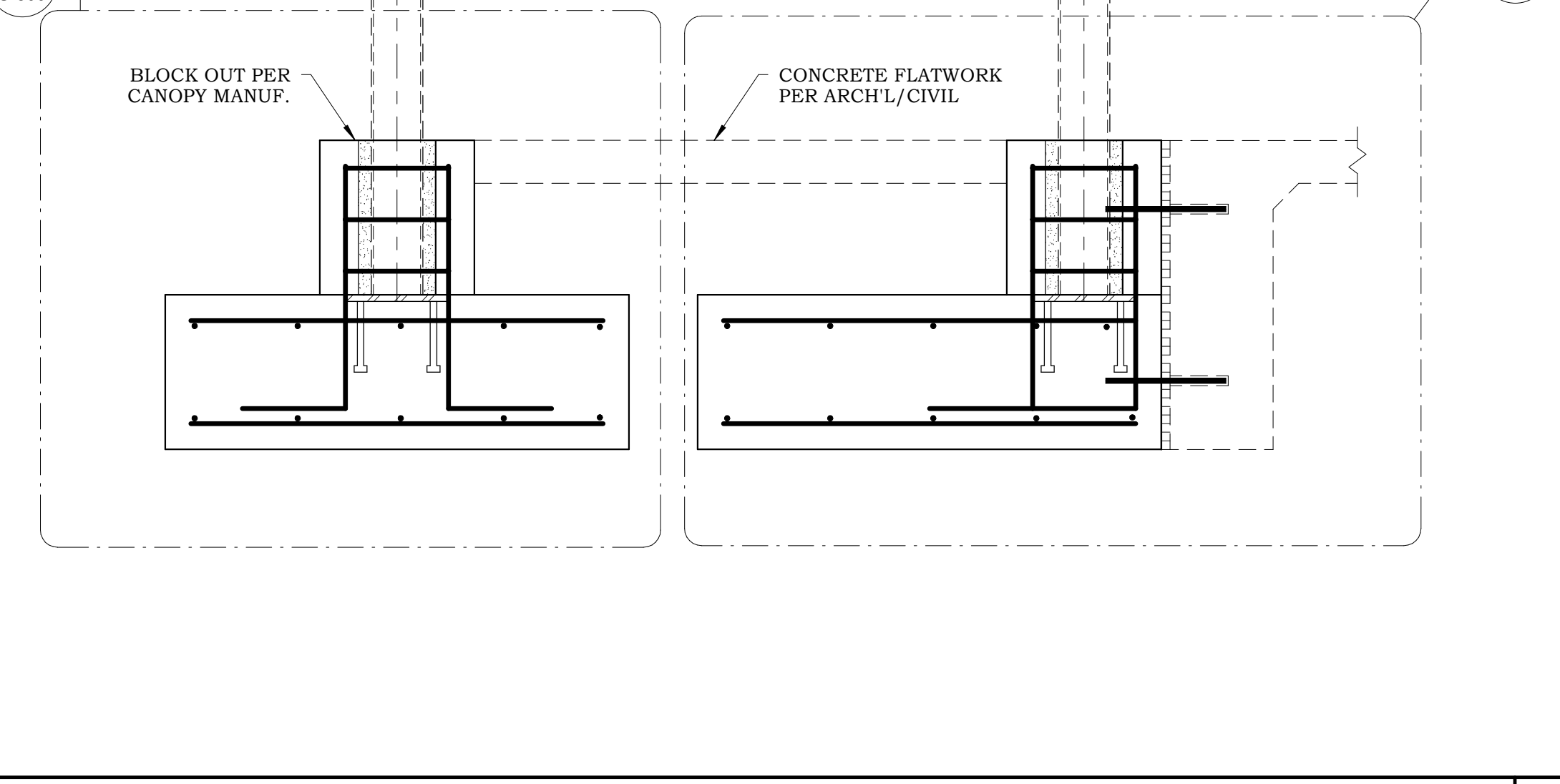
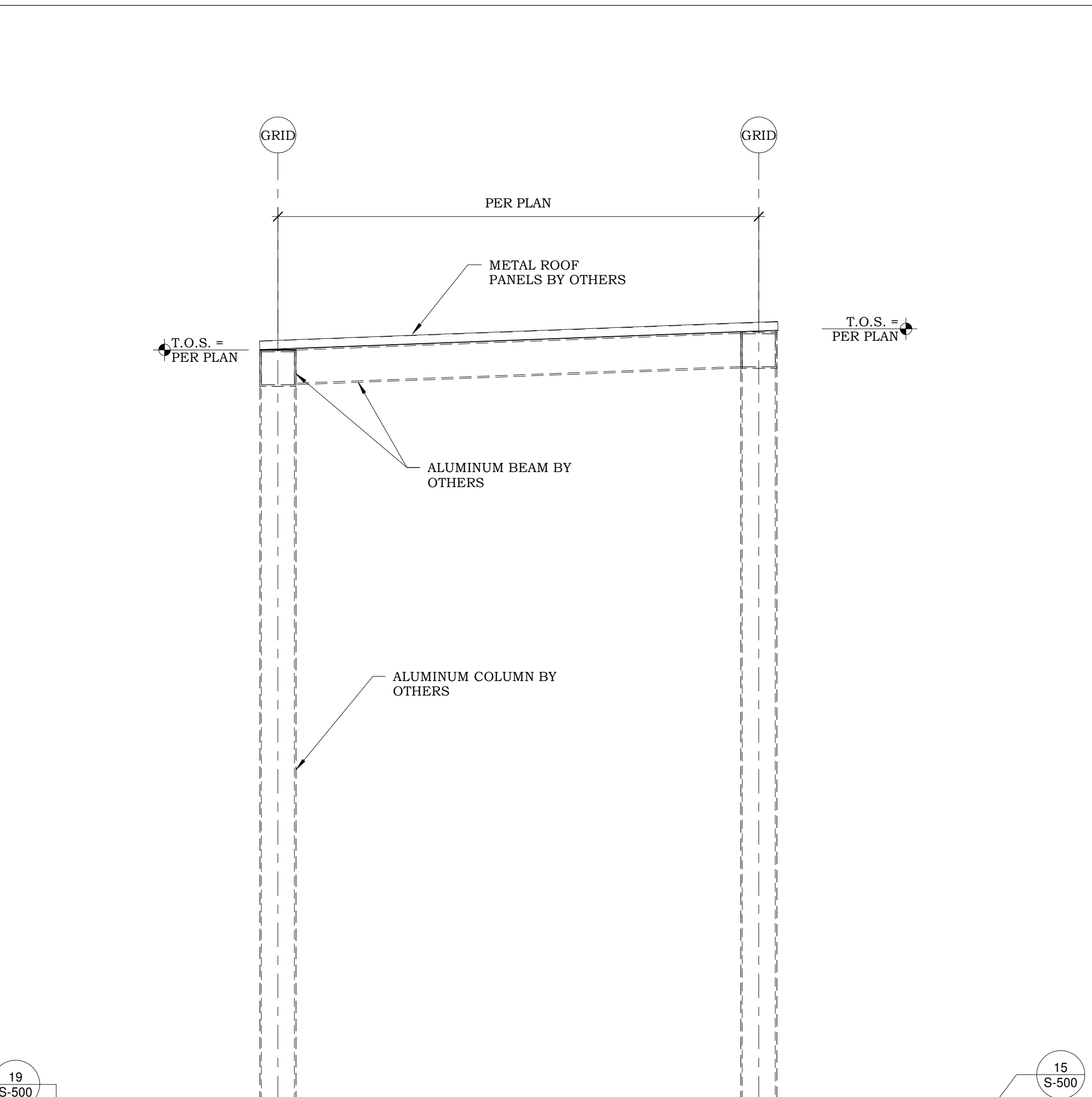
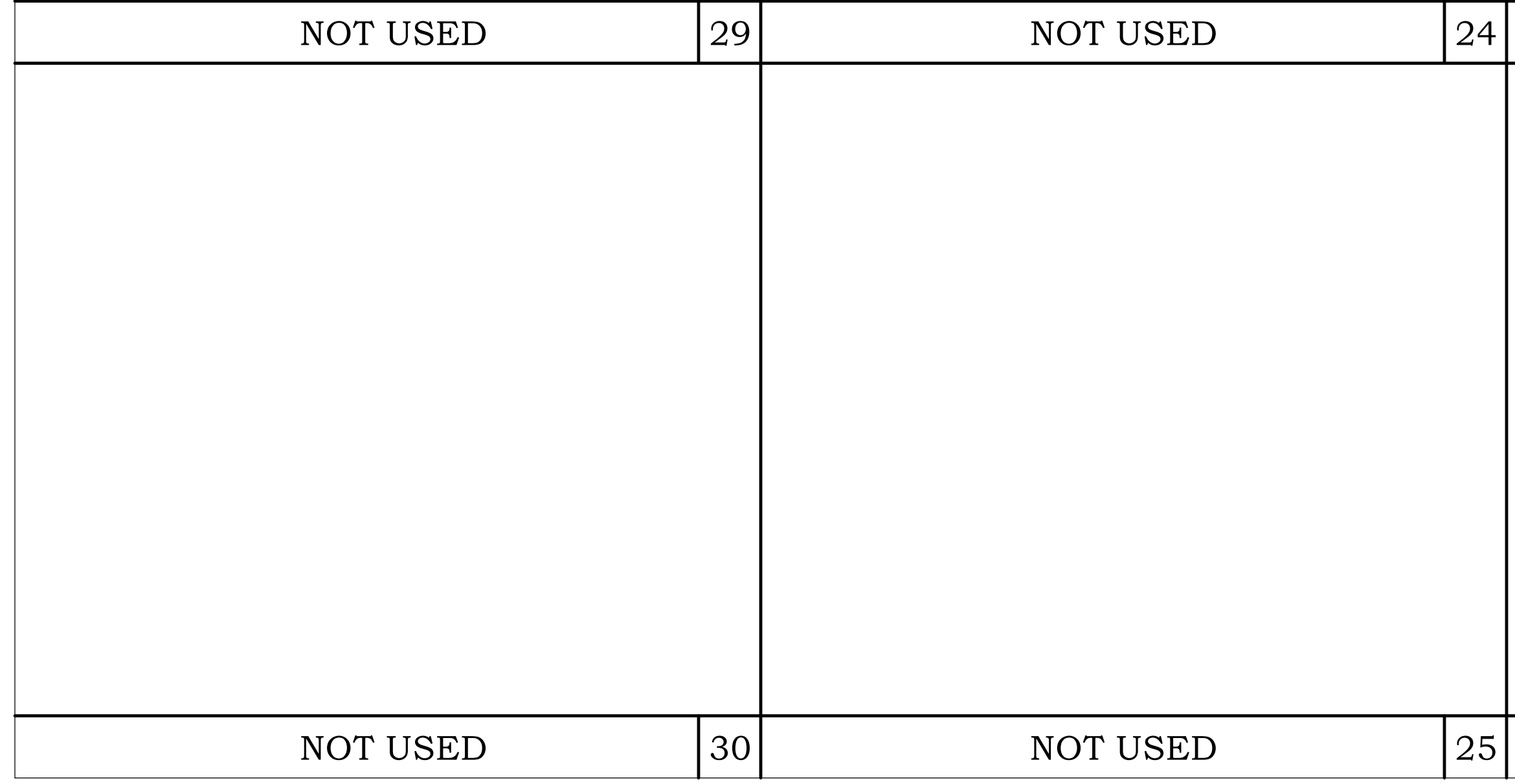
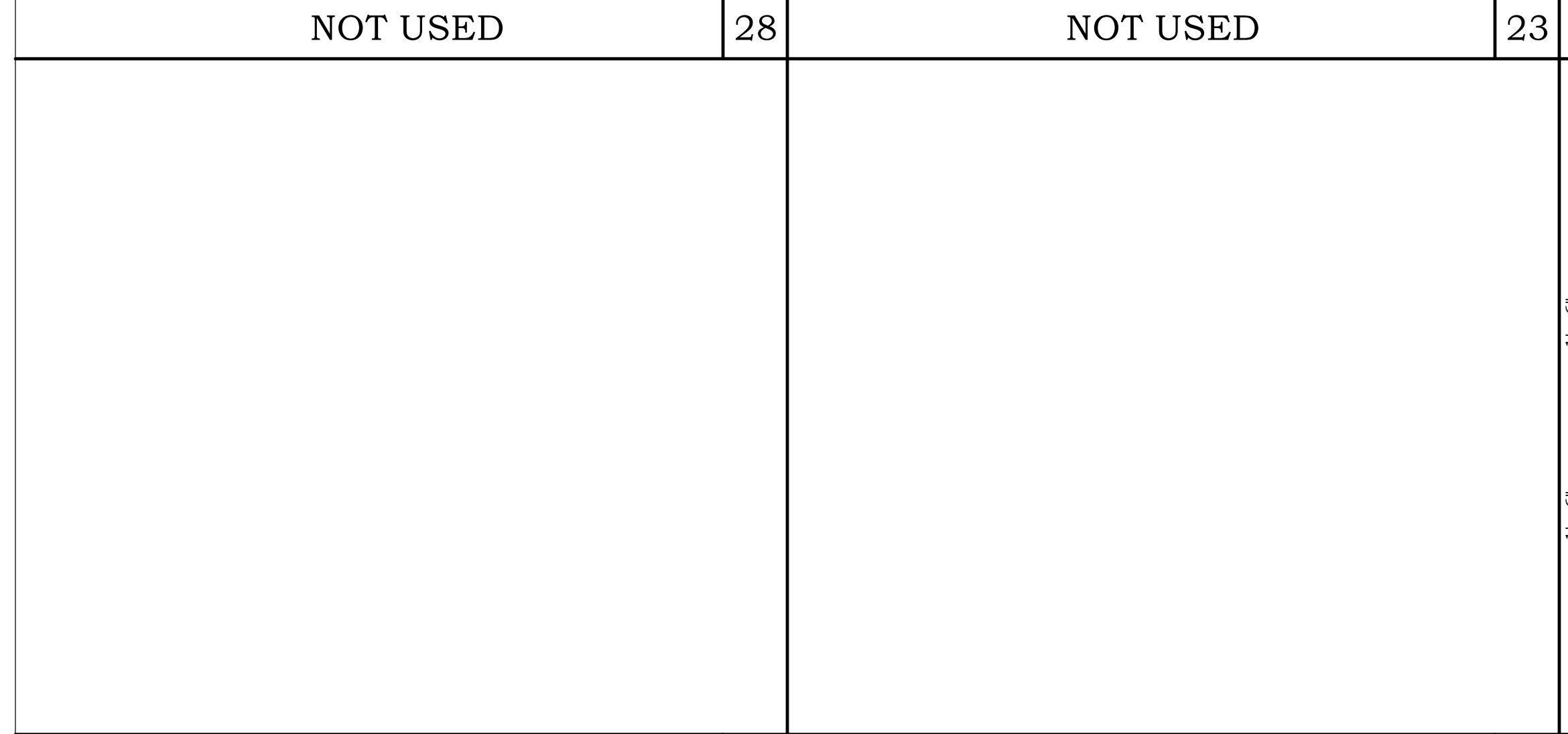
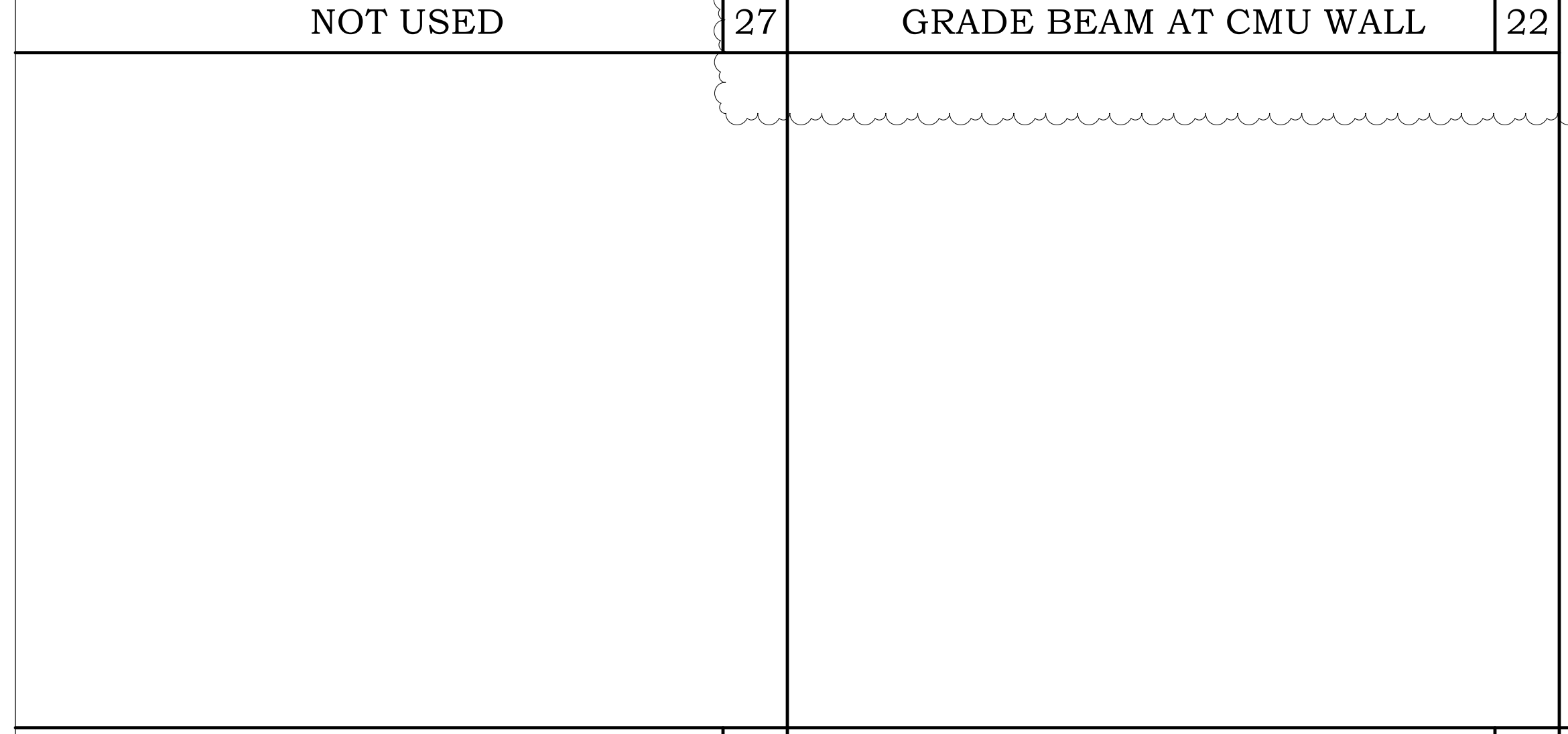
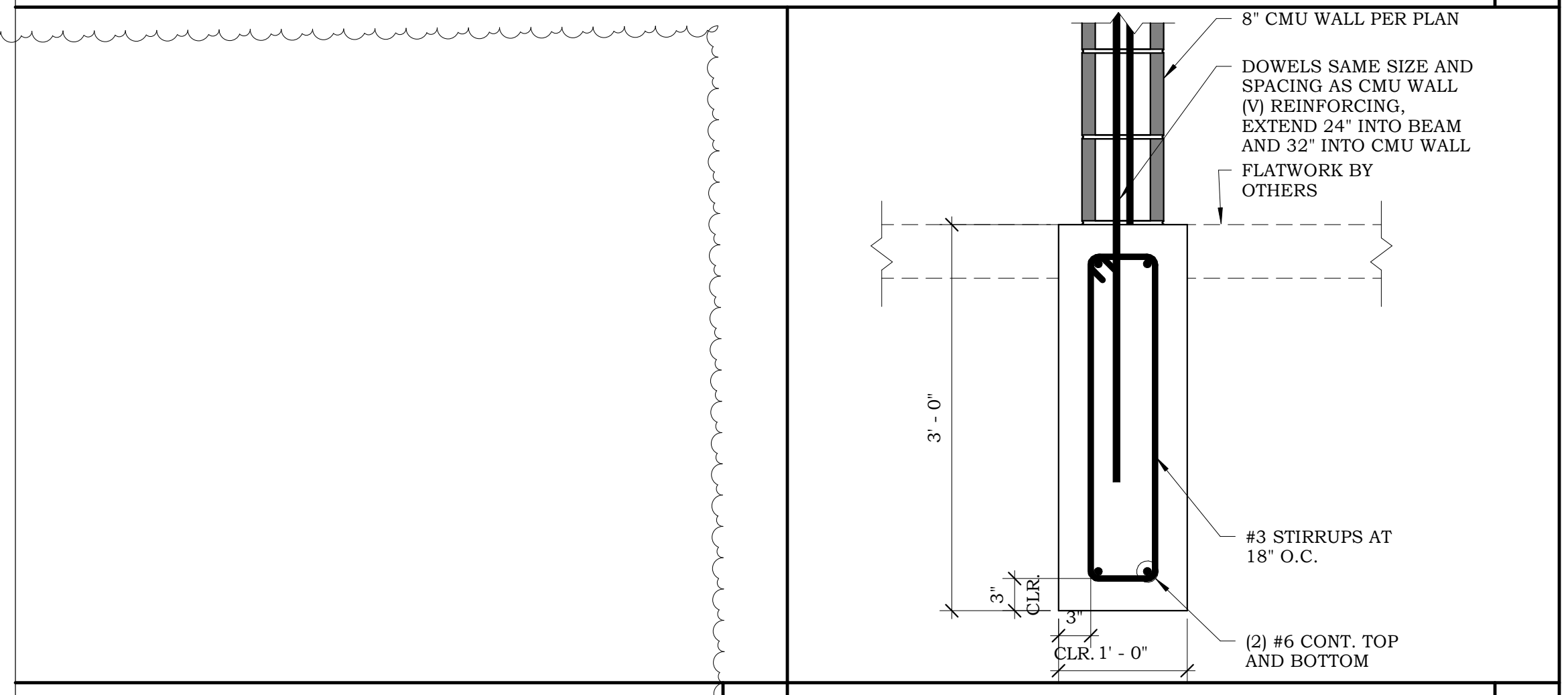
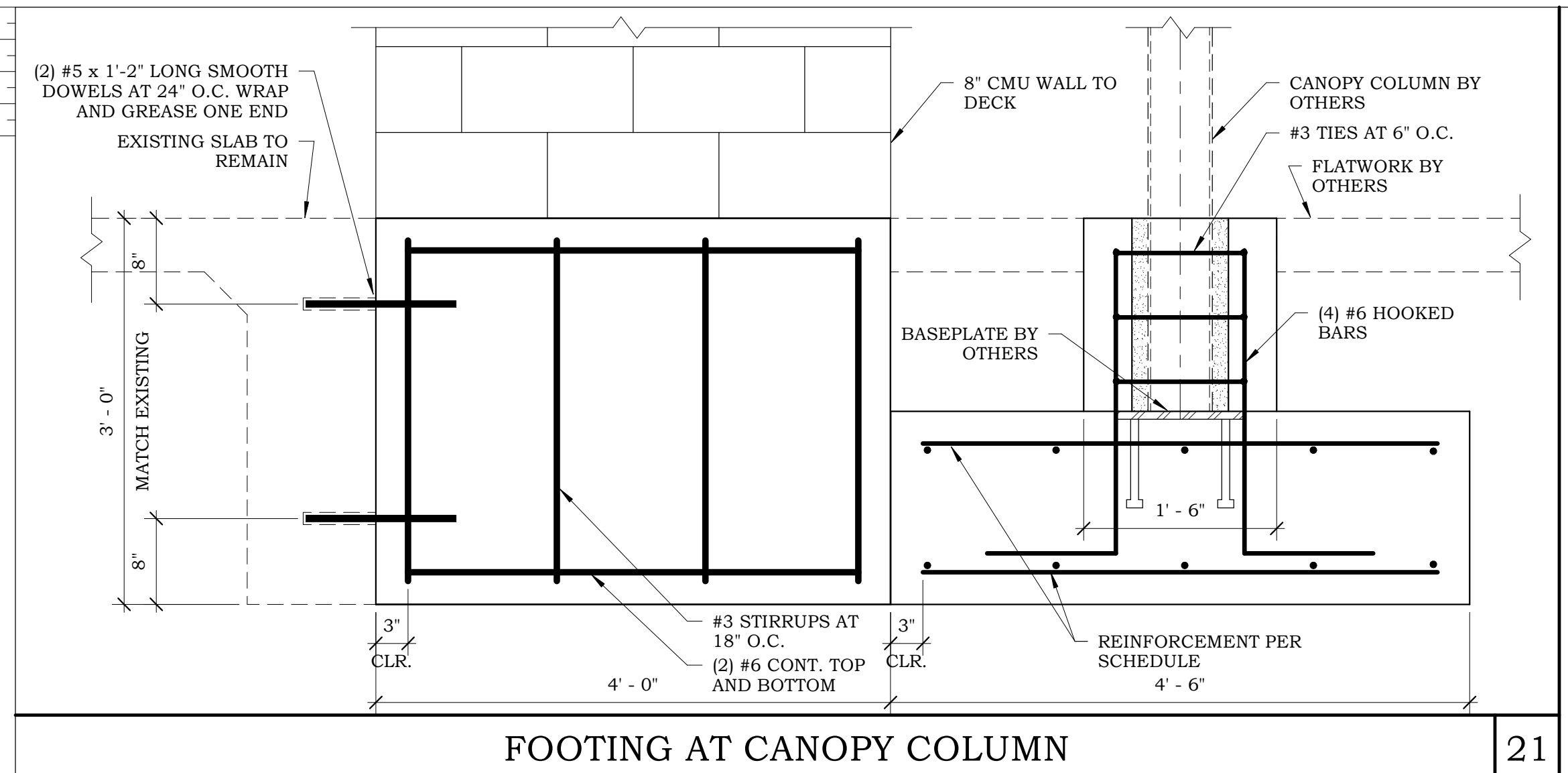
CLIENT: ECISD BARRIENTES
 DATE: 06/21/24 PROJECT NUMBER: 20215
 DRAWING HISTORY:

No.	Description	Date
1	ADDENDUM #2	06/14/24
7	ADDENDUM #7	07/18/24

ADDENDUM #7
 BUILDING NUMBER: 01

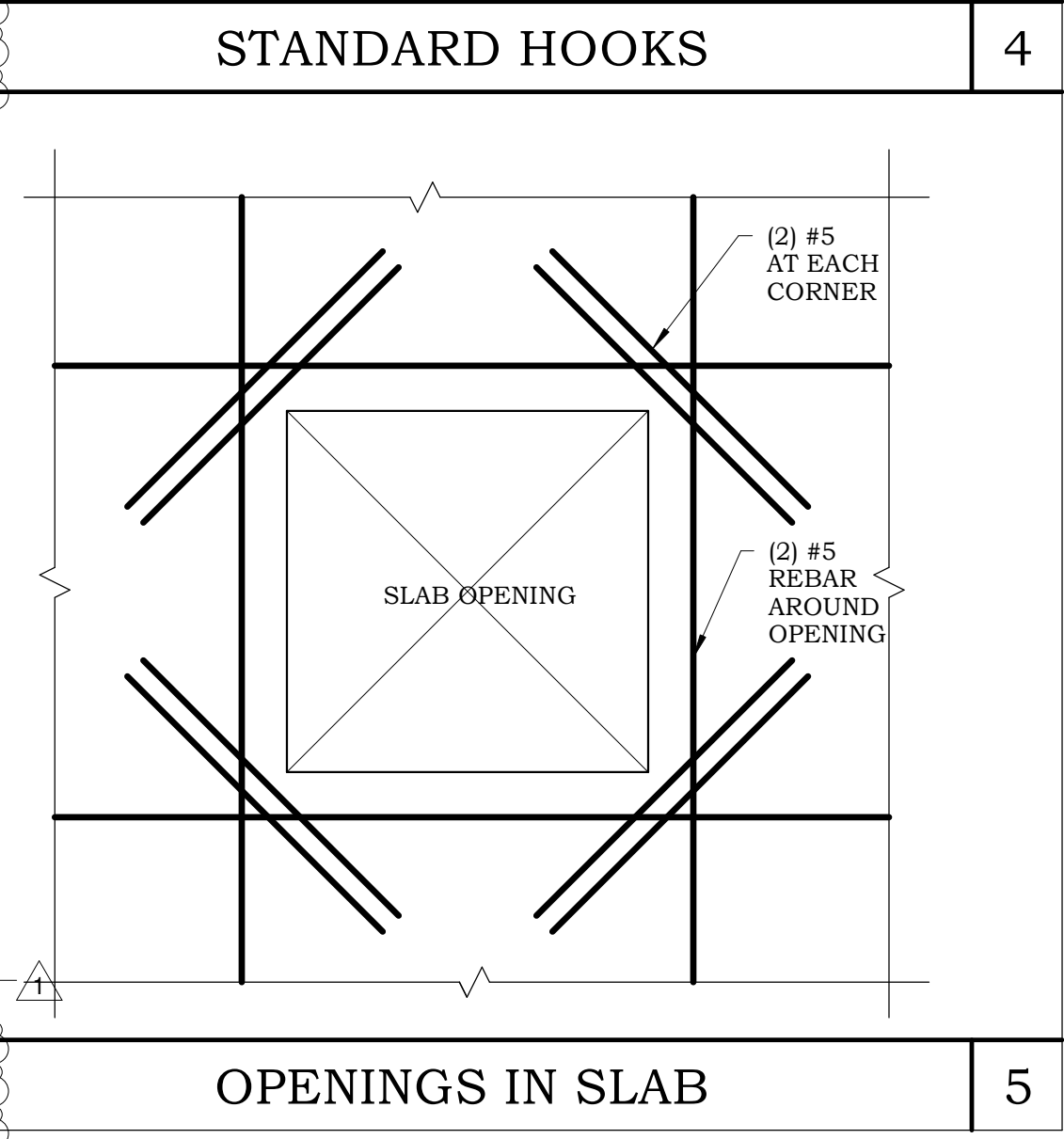
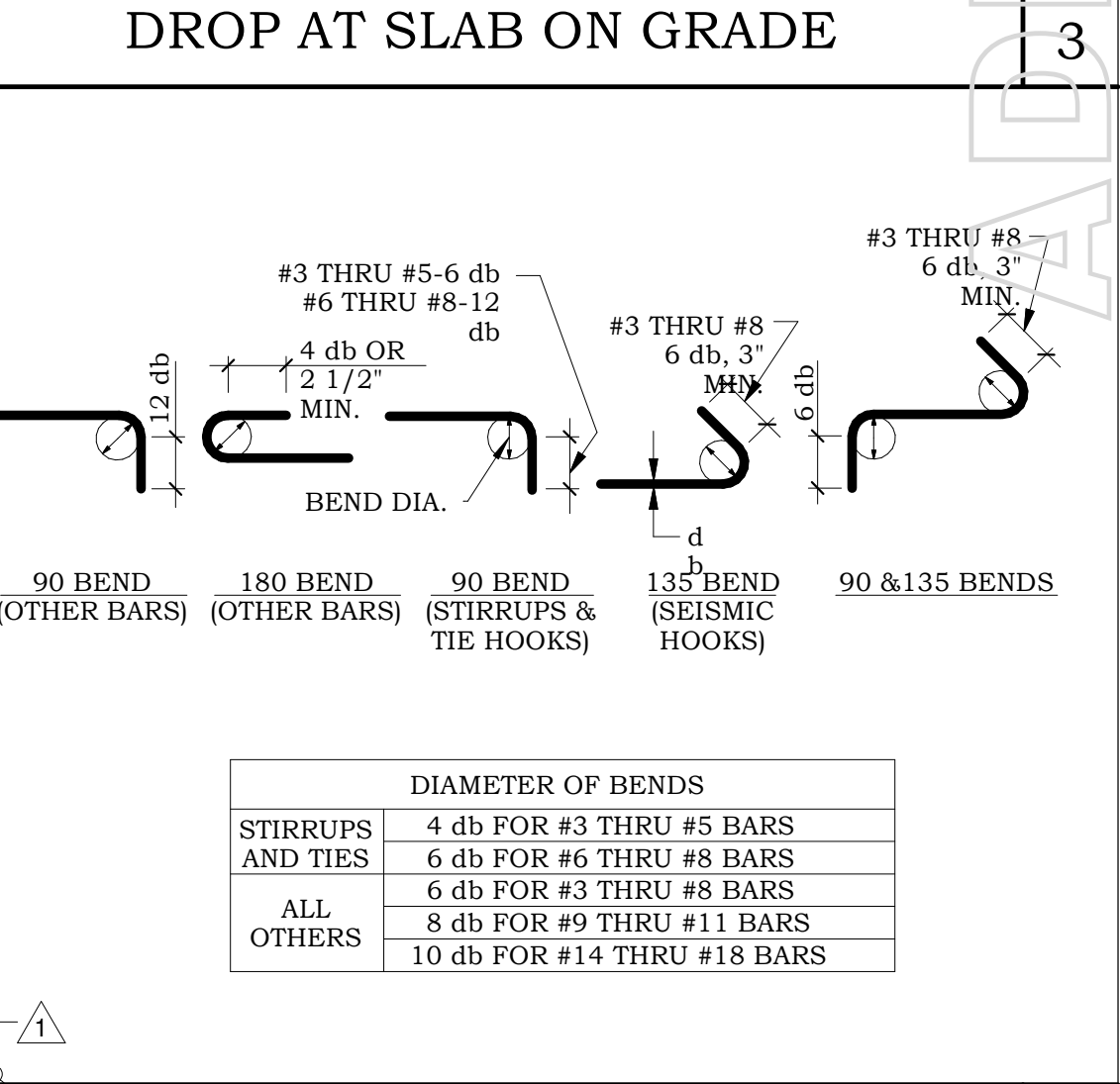
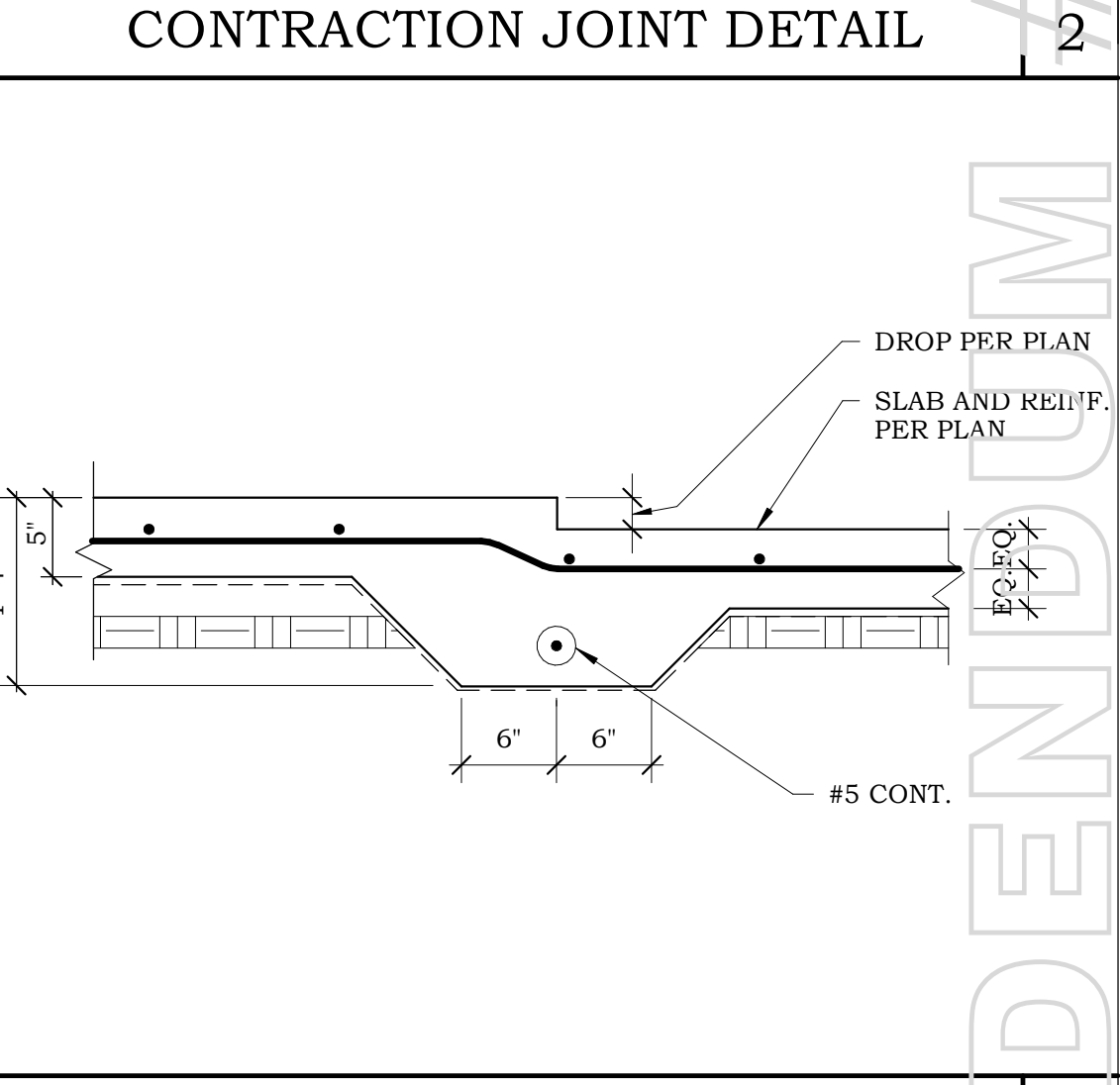
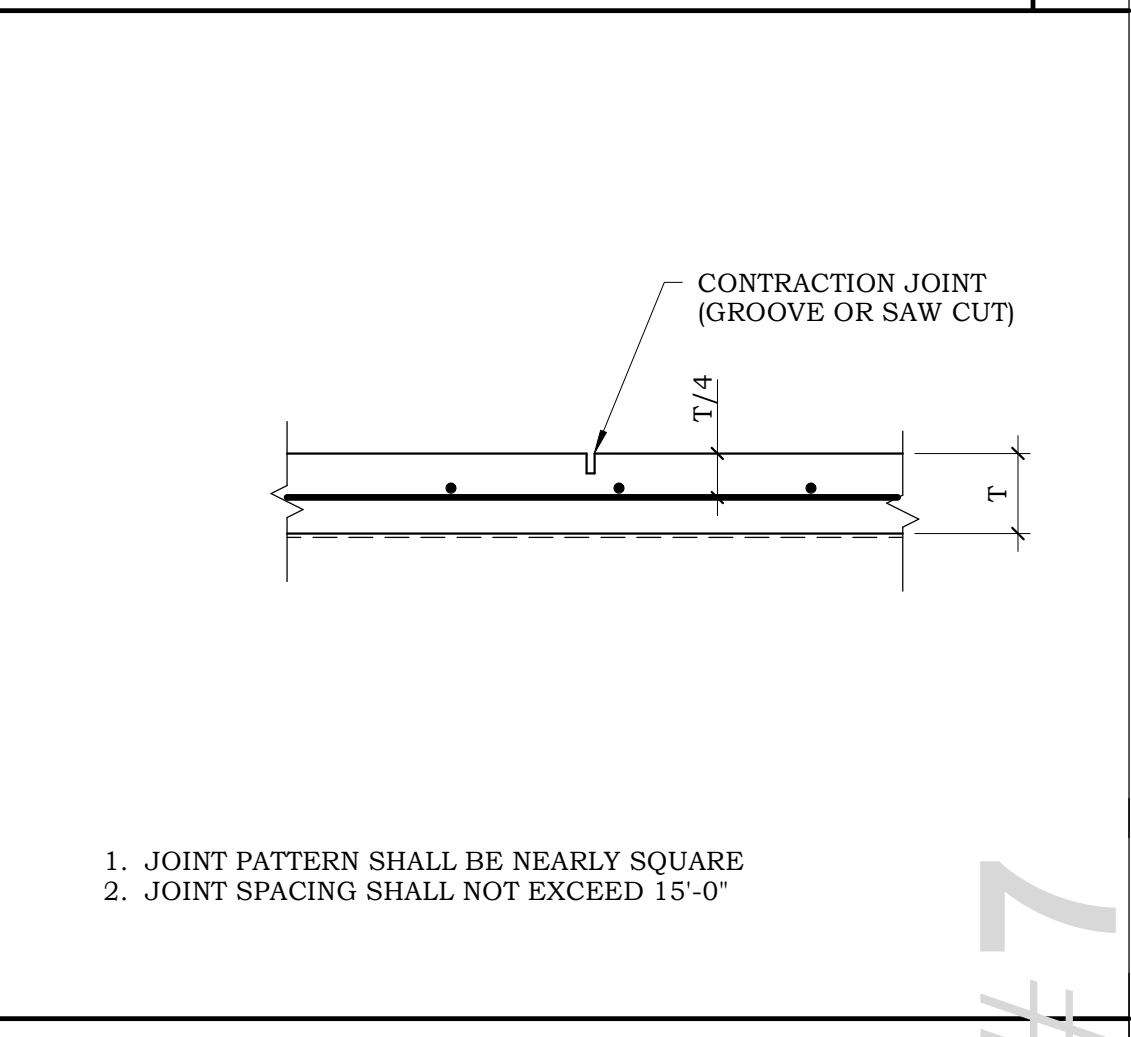
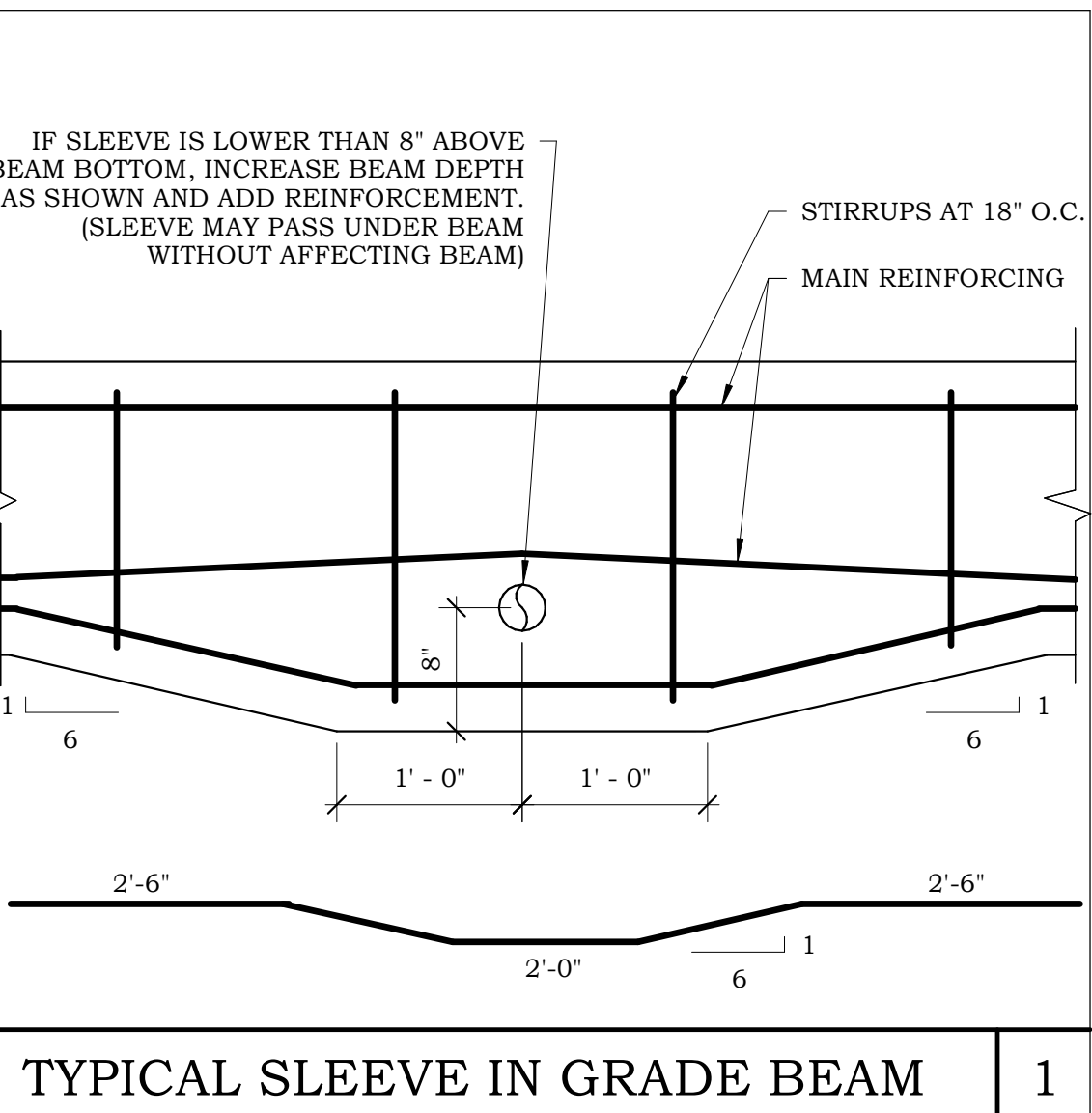
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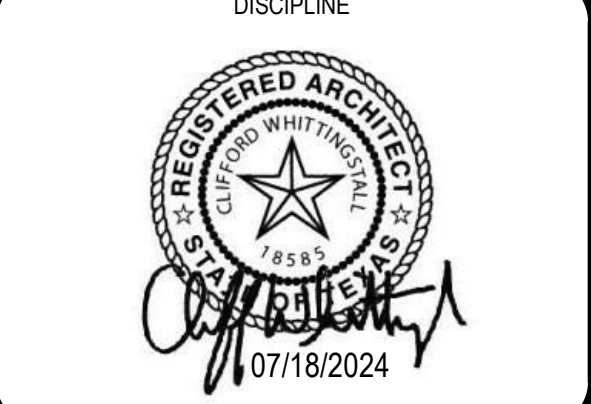
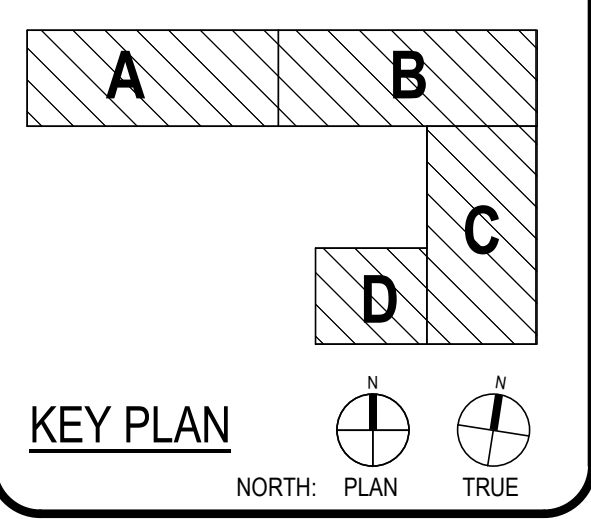
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 DRAWN BY: VDV
 Plot Stamp: 7/18/2024 2:00:04 PM



FOOTING SCHEDULE AT STEEL COLUMNS

TYPE	A	B	DEPTH	REBAR REINFORCEMENT
S3	3'-6"	3'-6"	3'-0"	#5'S @ 12" O.C. E.W. TOP AND BOTTOM
S4	4'-6"	4'-6"	1'-6"	#5'S @ 12" O.C. E.W. TOP AND BOTTOM
S5	5'-6"	5'-6"	3'-0"	#5'S @ 12" O.C. E.W. TOP AND BOTTOM





CLIENT ECISD BARRIENTES		
DATE 07/18/2024	PROJECT NUMBER 20217	
DRAWING HISTORY		
No.	Description	Date
3	ADDENDUM #3	6-15-2024
6	ADDENDUM #6	7-15-2024
7	ADDENDUM #7	08-5

ADDENDUM#7
 BUILDING NUMBER **01**

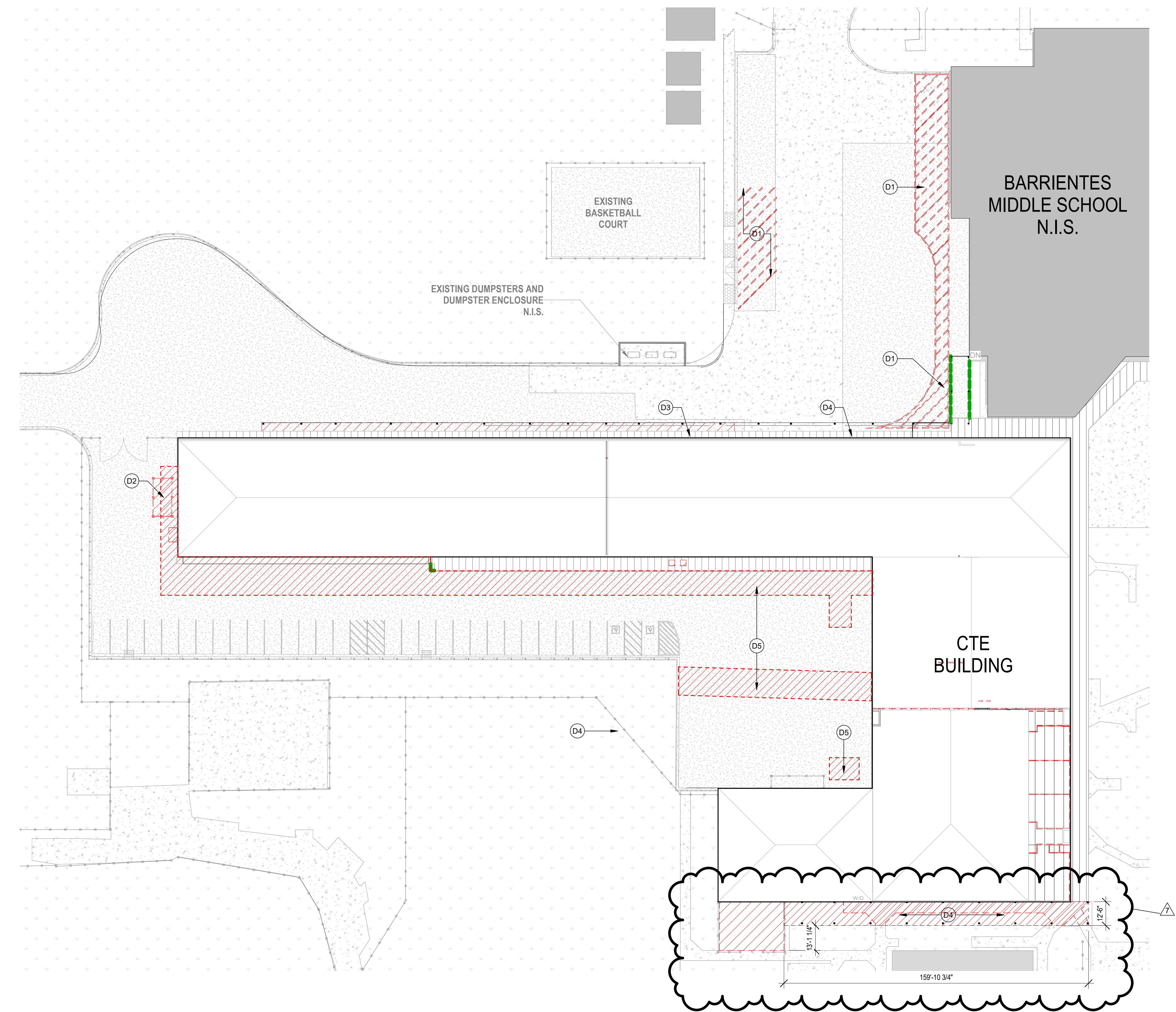
**SITE PLAN -
 DEMOLITION**

GENERAL DEMOLITION NOTES

- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND/OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND/OR EXISTING BUILDING ELEMENTS TO REMAIN.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND/OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
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- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND/OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND/OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCESSIBLE TO AUTHORITIES HAVING JURISDICTION.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDINGS. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- CONTRACTOR SHALL RELOCATE UTILITIES AND EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL, PLUMBING, AND TECHNOLOGY REQUIREMENTS FOR NEW WORK.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL, WITHIN DRIP LINES.
- CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND/OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- MAINTAIN ANY AND ALL EXISTING FIRE-RATED ASSEMBLIES THAT ARE TO REMAIN, AND THEIR ASSOCIATED FIRE-RATINGS, INCLUDING BUT NOT LIMITED TO ALL ASSOCIATED EXISTING FIRE-RATED OPENINGS, ALL ASSOCIATED EXISTING FIRE-RATED PENETRATIONS, AND ALL ASSOCIATED EXISTING FIRE-RATED FIRESTOPPING CONDITIONS.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REMOVE, PATCH, AND REPAIR ALL ABANDONED ROOF PENETRATIONS RESULTING FROM WORK.
- SAW-CUT AND REMOVE EXISTING FLOOR FINISHES AND FLOOR SLAB AS REQUIRED TO INSTALL NEW FIXTURES, ITEMS, AND/OR DEVICES FOR ALL SCOPE-OF-WORK PERTAINING TO NEW MECHANICAL WORK, NEW PLUMBING UTILITIES, NEW PLUMBING WORK, NEW ELECTRICAL WORK, AND NEW TECHNOLOGY WORK. SPLICE NEW REINFORCING BARS WELDED INTO EXISTING CONCRETE AND PROVIDE NEW VAPOR BARRIERS AND NEW CONTINUOUS WATERSTOPS AT JOINT BETWEEN NEW CONCRETE FLOOR SLAB AND EXISTING CONCRETE FLOOR SLAB. PATCH WITH NEW 3,500 PSI MINIMUM CONCRETE AND PREPARE FLOOR, INCLUDING NEW CONCRETE, TO RECEIVE NEW FLOOR FINISHES. COORDINATE WITH STRUCTURAL.
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- WHERE EXISTING WALL OPENINGS ARE TO BE NEWLY CLOSED-OFF, REMOVE ANY EXISTING OPENING FRAME AND PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES, UNLESS NOTED OTHERWISE.
- WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEPT SYSTEMS BACK TO PANEL, OR MECHANICAL ROOM, OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS.
- REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBCONTRACTORS THE EXTENT OF ALL DEMOLITION WORK.
- PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE FLOOR SURFACE TO RECEIVE NEW FLOORING.
- ALL DASHED LINES ARE DEMOLITION LINES U.N.O.

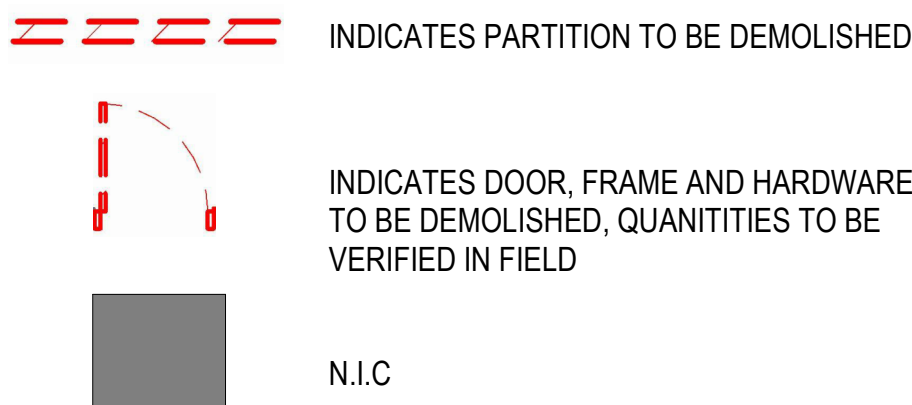
- DEMOLITION - KEY NOTES**
- (D1) REMOVE EXISTING STRIPING.
 - (D2) RELOCATE EXISTING ELECTRICAL EQUIPMENT AND REMOVE CHINLINK FENCE.
 - (D3) DEMOLISH EXISTING CANOPY, PREPARE FOR NEW CONSTRUCTION.
 - (D4) PREPARE AREA FOR NEW CANOPY CONSTRUCTION.
 - (D5) DEMOLISH EXISTING ASPHALT, RE: CIVIL DRAWINGS FOR LIMITS.

- SITE DEMOLITION LEGEND**
- INDICATES SITE ELEMENTS TO BE REMOVED
 - INDICATES GATE TO BE REMOVED
 - N.I.C
 - EXISTING CHAINLINK FENCE TO REMAIN, PROTECT DURING CONSTRUCTION
 - CHAINLINK FENCE TO BE REMOVED



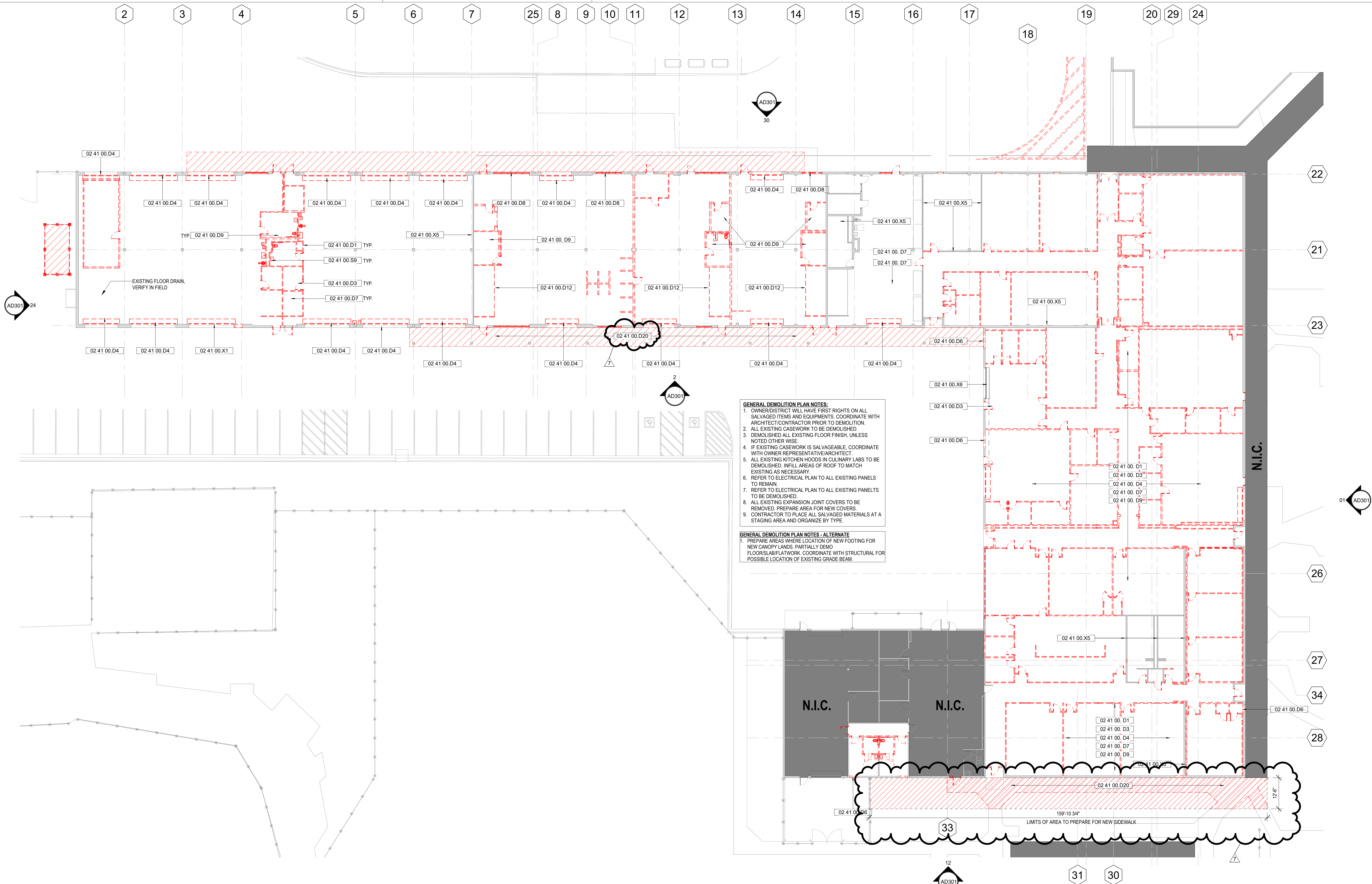
KEYNOTE	DESCRIPTION
02 41 00 D1	DEMOLISH WALL
02 41 00 D3	DEMOLISH EXISTING DOOR AND FRAME
02 41 00 D4	DEMOLISH EXISTING OVERHEAD DOOR
02 41 00 D6	PARTIALLY DEMOLISH WALL FOR NEW OPENING
02 41 00 D7	DEMOLISH ALL EXISTING CASEWORK
02 41 00 D8	DEMOLISH EXISTING STOREFRONT WINDOW
02 41 00 D9	DEMOLISH EXISTING FLOOR FINISH, PREPARE AREA FOR NEW
02 41 00 D12	DEMOLISH EXISTING FENCE GATE
02 41 00 D20	DEMOLISH EXISTING SIDEWALK
02 41 00 S9	SALVAGE EXISTING PLUMBING FIXTURES
02 41 00 X1	EXISTING CMU WALL TO REMAIN
02 41 00 X5	EXISTING WALL TO REMAIN, TYP.
02 41 00 X6	EXISTING OVERHEAD DOOR TO REMAIN, PROTECT IN ALL PHASES OF CONSTRUCTION

PLAN DEMOLITION LEGEND



GENERAL DEMOLITION NOTES

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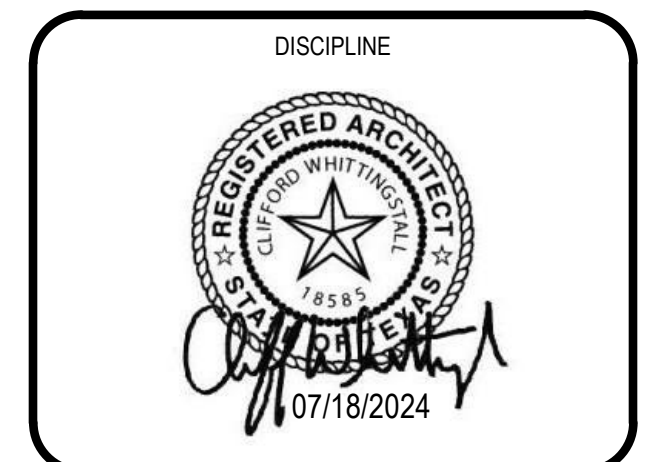
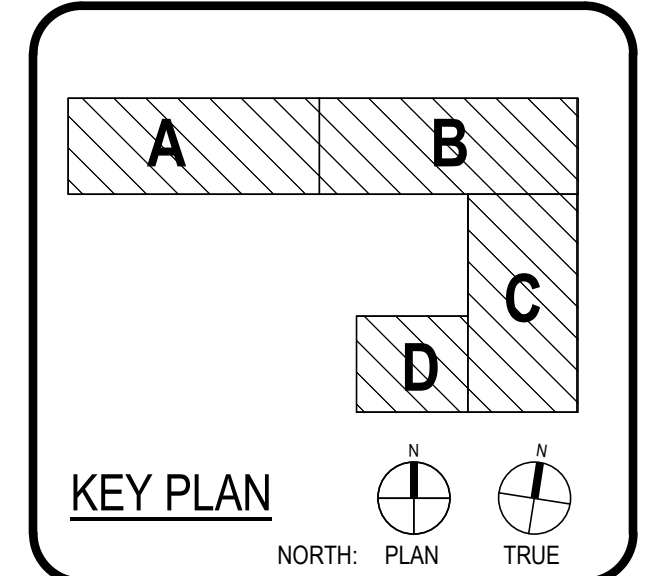


- GENERAL DEMOLITION PLAN NOTES:**
- OWNER/DISTRICT WILL HAVE FIRST RIGHTS ON ALL SALVAGED ITEMS AND EQUIPMENTS. COORDINATE WITH ARCHITECT/CONTRACTOR PRIOR TO DEMOLITION.
 - ALL EXISTING CASEWORK TO BE DEMOLISHED.
 - DEMOLISHED ALL EXISTING FLOOR FINISH, UNLESS NOTED OTHER WISE.
 - IF EXISTING CASEWORK IS SALVAGEABLE, COORDINATE WITH OWNER REPRESENTATIVE/ARCHITECT.
 - ALL EXISTING KITCHEN HOODS IN CULINARY LABS TO BE DEMOLISHED. INFILL AREAS OF ROOF TO MATCH EXISTING AS NECESSARY.
 - REFER TO ELECTRICAL PLAN TO ALL EXISTING PANELS TO REMAIN.
 - REFER TO ELECTRICAL PLAN TO ALL EXISTING PANELS TO BE DEMOLISHED.
 - ALL EXISTING EXPANSION JOINT COVERS TO BE REMOVED. PREPARE AREA FOR NEW COVERS.
 - CONTRACTOR TO PLACE ALL SALVAGED MATERIALS AT A STAGING AREA AND ORGANIZE BY TYPE.
- GENERAL DEMOLITION PLAN NOTES - ALTERNATE**
- PREPARE AREAS WHERE LOCATION OF NEW FOOTING FOR NEW CANOPY LANDS. PARTIALLY DEMO FLOORSLAB/FLOORWORK. COORDINATE WITH STRUCTURAL FOR POSSIBLE LOCATION OF EXISTING GRADE BEAM.



ARCHITECT	PBK Architects, Inc.
MCALLEN	6316 North 10th Street, Suite 1 McAllen, TX 78504 956-687-1330 P 956-687-1331 F TX Firm: F-1698
ENGINEER	WELLS ENGINEERING INC. 1555 9th Street Brownsville, TX 77801
MECHANICAL	CHAMBERLAIN ENGINEERING 1100 E. Elroy Ln. Edinburg, TX 78539
ELECTRICAL	WOMAN ENGINEERS 1100 E. Elroy Ln. Edinburg, TX 78539
PLUMBING/MECHANICAL	WOMAN ENGINEERS 1100 E. Elroy Ln. Edinburg, TX 78539

ECISD BARRIENTES
EDINBURG CTE CENTER



CLIENT		PROJECT NUMBER	
ECISD BARRIENTES		20217	
DATE		07/18/2024	
DRAWING HISTORY		DATE	
No.	Description	Date	
7	ADDENDUM #7	Date 8	

ADDENDUM#7
BUILDING NUMBER 01
DEMOLITION FLOOR PLAN - COMPOSITE

AD101

WELDING 120 EQUIPMENT SCHEDULE

EQ.#	DESCRIPTION	QUANTITIES	MODEL COUNT	ELECTRICAL	DATA	WATER	GAS	AIR	EXHAUST	DEPTH	HEIGHT	WIDTH	CONTRACTOR FURNISH / CONTRACTOR INSTALLED	OWNER FURNISH / CONTRACTOR INSTALLED	OWNER FURNISH / OWNER INSTALLED	COMMENTS
W1	DUAL STATION WELDING STATIONS	6								3'-5"	8'-0"	9'-8"	Yes	No	No	
W2	TORCH	5														
W3	ROD OVEN	1								1'-10 1/2"	2'-5 1/2"	1'-10 1/2"			Yes	
W4	TV (MOUNTED)	3								0'-6"	3'-2 1/2"	5'-1"				
W5	INSPECTION TABLE	1								3'-0"	3'-0"	3'-0"			No	
W6	TOOL CABINETS	2								1'-6"	3'-1 1/2"	4'-4"	No		Yes	
W7	PRECISION TIG Z75	2								2'-2"	2'-7"	1'-10"	Yes			
W8	BAND SAW	1								3'-6"	3'-6"	3'-6"			No	
W9	TENSILE STRENGTH TESTER	1								3'-8"	2'-4"	1'-10"				
W10	CHOP SAW	2								1'-2"	1'-4"	1'-6"	Yes		No	
W11	BENCH GRINDER	2								2'-0"	1'-4"	2'-0"			Yes	
W12	WELDING FLAMMABLE CABINET	1								2'-10"	5'-5"	3'-7"			Yes	
W13	WISE STAND	1								1'-0"	2'-0"	1'-0"			No	
W14	PLASMA CUTTER	1								1'-10"	1'-3"	0'-8 1/2"	Yes		Yes	TOMAHAWK - 375
W15	BEND TESTER	1								3'-0"	2'-10"	3'-0"			No	Yes
W16	CNC PLASMA CUTTING MACHINE	1	YES				YES			6'-2"	5'-3"	9'-6"	Yes			TORCHMATE - 4800 - EDUCATIONAL PACKAGE W MFR. TRAINING
W17	QUENCH TANK	1								1'-0"	1'-0"	1'-0"			Yes	
W18	PLASMA	1								1'-6"	1'-3"	0'-8 1/2"	Yes		Yes	TOMAHAWK - 1000
W19	DRILL PRES	1								2'-3"	5'-5"	1'-3"			Yes	
W20	HYDRAULIC PRESS	1								3'-5"	6'-9"	3'-6"			No	Yes
W21	MILLERMATIC	5								3'-4"	2'-6"	1'-7"	Yes		No	
W22	COMBINATION VISE	5								0'-6"	0'-8 3/8"	1'-1 1/2"	Yes			
W23	INVERTEC	4								2'-3"	1'-2"	1'-1"	Yes			
W25	FORKLIFT	1								7'-5"	10'-11"	3'-6"		Yes		LOCATED OUTSIDE
W26	TABLE (STUDENT MADE PROJECT)	1								4'-0"	3'-0"	8'-0"		Yes		
W27	STRAIGHT LINE CUTTING MACHINE	1								1'-0"	1'-0"	1'-0"		Yes		
W28	SHOP GANTRY HOIST/Crane	1								8'-0"	2'-6"	12'-0"	Yes			ELECTRIC CHAIN HOIST
W29	HOPPER	1								6'-0"	2'-6"	12'-0"	No	Yes		LOCATED OUTSIDE
W30	HYDRAULIC IRON WORKER	1								2'-0"	6'-0"	6'-0"				
W31	JIB CRANE	1								0'-10"	15'-0"	0'-10"	Yes		No	
W32	MULTIPROCESS WELDER - ESAB	4								2'-2"	1'-4"	1'-9"	Yes	No		REBEL
W33	MULTIPROCESS WELDER - MILLER	4								2'-2"	1'-4"	1'-9"	Yes			MILLER ELECTRICAL

*GC TO VERIFY ALL ACCESSORIES FOR CONTRACTOR FURNISHED EQUIPMENT**

KEYNOTE LEGEND

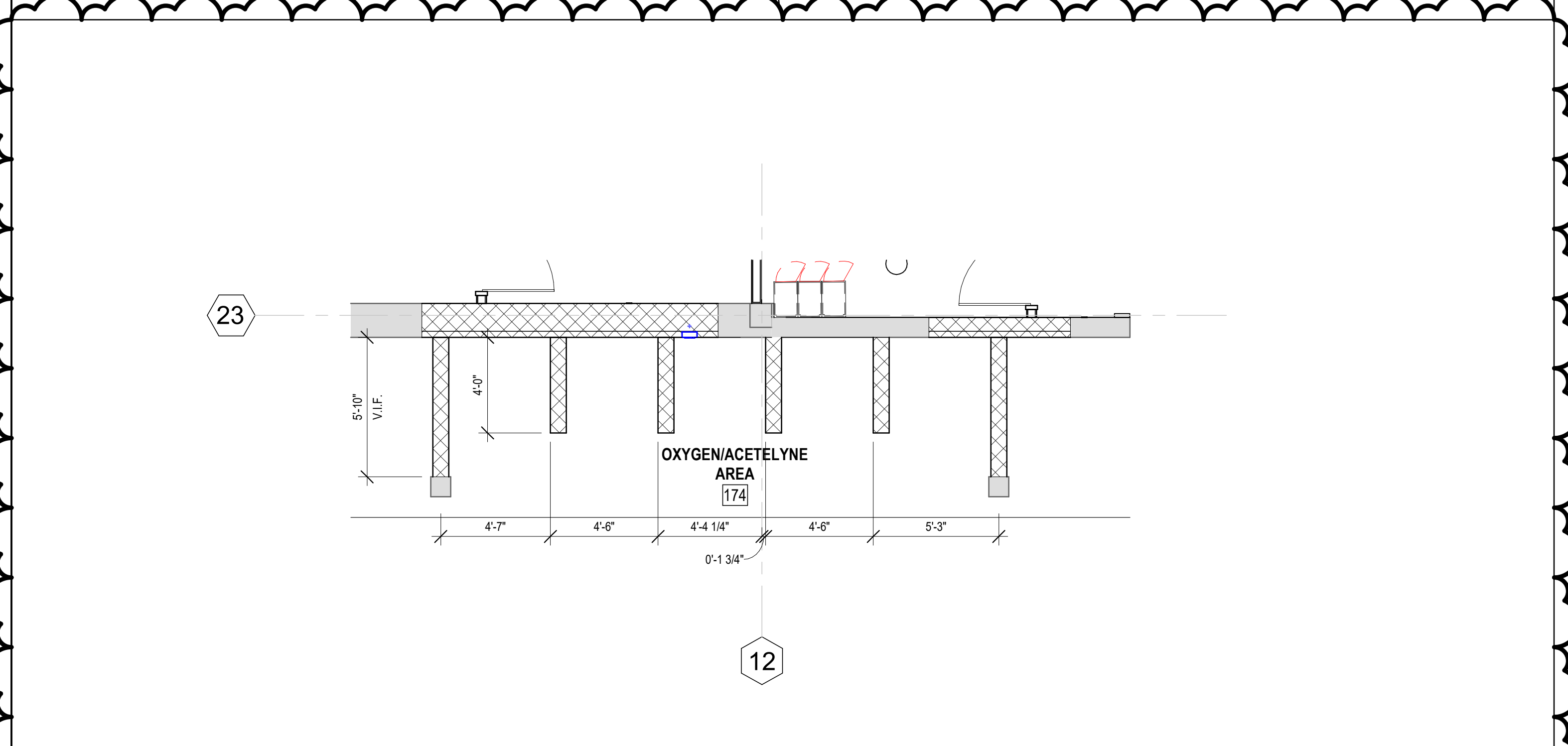
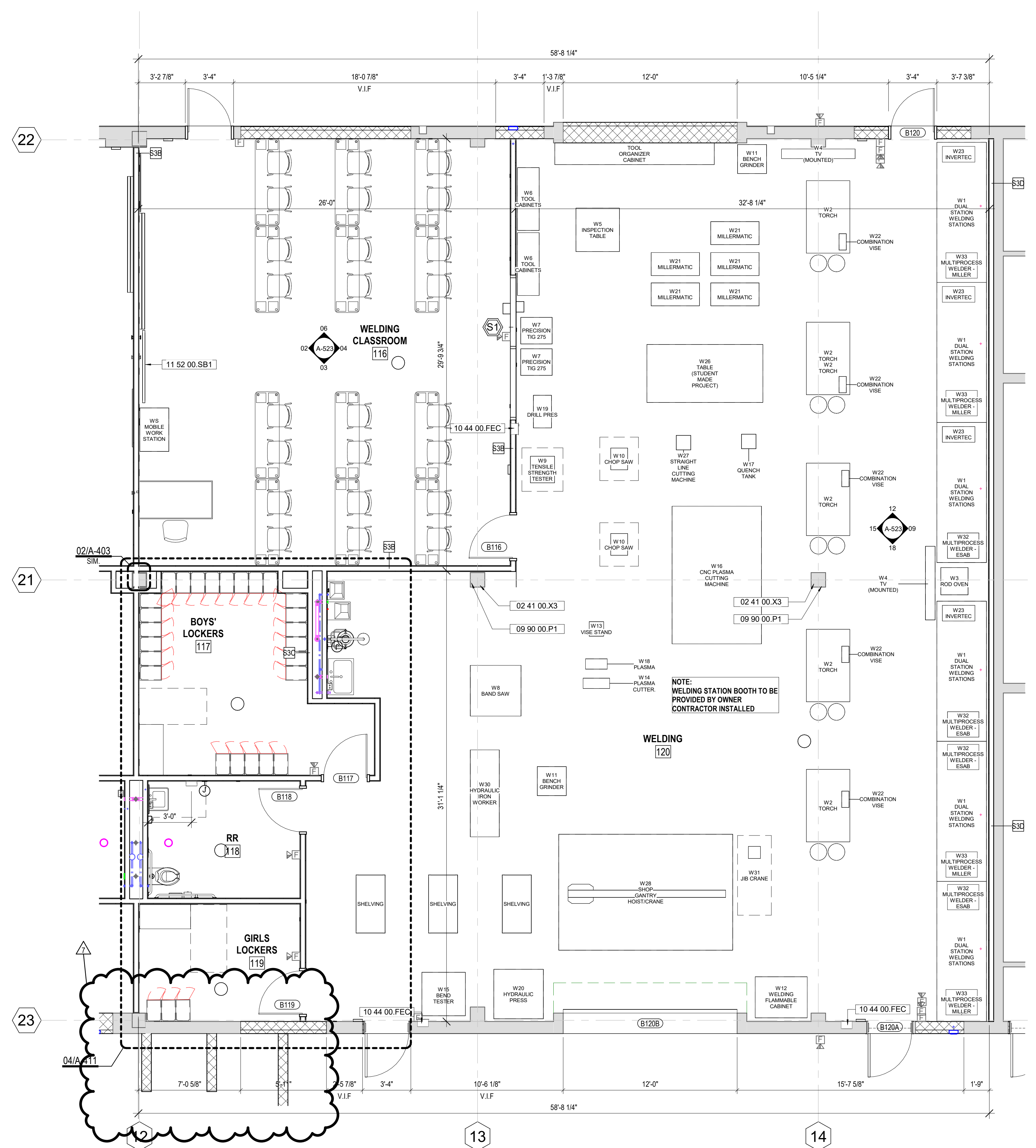
NUMBER	DESCRIPTION
02 41 00.X3	EXISTING COLUMN TO REMAIN, PREPARE FOR NEW CONSTRUCTION AFTER DEMOLISHING ADJACENT WALL
09 90 00.P1	PAINT TYPE 1 - FIELD
10 44 00.FEC	FIRE EXTINGUISHER CABINET
11 52 00.SB1	SMARTBOARD (OFOI)

GENERAL ARCH PLAN NOTES

- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE, CONTACT ARCH IF CLARIFICATION IS NECESSARY IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS
- DRAWINGS NOTED AS "N, S" OR "N/S" ARE NOT TO SCALE
- ALL DIMENSIONS ARE TO STRUCTURAL COLUMN LINES OR THE SURFACE OF PARTITION ASSEMBLY U.N.O.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCH. OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK
- NOTES OR DIMENSIONS NOTED AS "TYPICAL" OR "TYP" OR "TYP" SHALL APPLY TO CONDITIONS THAT ARE THE SAME OR SIMILAR. DIMENSIONS NOTED AS "FIELD VERIFY" OR "V.I.F." OR "V.I.P." SHALL BE MEASURED AND CONFIRMED AT THE PROJECT SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCH. BEFORE INCORPORATING INTO THE WORK
- DIMENSIONS NOTED AS "CLEAR" OR "CLEAR INSIDE" REQUIRE SPECIFIC COORDINATION AMONG DISCIPLINES AND/OR MANUFACTURERS
- REFER TO PARTITION TYPES ON A-800 SERIES SHEETS
- ALL EXISTING INTERIOR CMU WALL PARTITION TO REMAIN, RE-65A-801A. CONTRACTOR TO VERIFY IN FIELD.
- ALIGN FINISHED FACE OF WALLS WHERE WALL PARTITIONS OF DIFFERING THICKNESS ABUT AND OR ADJOIN IN THE SAME PLANE
- PROVIDE AND INSTALL CONT. REVEAL TRIM AT JOINT WHERE GYPSUM BOARD WALL PARTITIONS ABUT AND OR ADJOIN MASONRY WALL PARTITIONS IN THE SAME PLANE
- ALL INTERIOR CMU OUTSIDE CORNERS SHALL HAVE BULLNOSE U.N.O.
- ALL DOORS SHALL BE SET 6 INCHES OFF THE ADJACENT PERPENDICULAR WALL ON THE HINGE SIDE OF THE DOOR U.N.O. NOTIFY ARCH. OF ANY DOOR-RELATED CONFLICTS, INCLUDING BUT NOT LIMITED TO CONFLICTS CONCERNING ACCESSIBILITY STANDARDS
- ALL FLOOR SLOPES TO FLOOR DRAINS SHALL NOT EXCEED 1/48
- PROVIDE AND INSTALL SELF-LEVELING UNDERLAYMENT WHERE UNEVEN FLOOR SLAB EXISTS PRIOR TO INSTALLATION OF FLOOR FINISHES
- COORD. HOUSEKEEPING PAD LOCATIONS AND DIMENSIONS WITH EQUIPMENT TO BE INSTALLED
- ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS U.N.O.
- ALL FLOOR FINISH MATERIAL CHANGES SHALL HAVE REDUCER STRIPS
- ALL REQUIRED ACCESSIBLE CLEARANCES FOR ALL ITEMS, INCLUDING BUT NOT LIMITED TO ALL COUNTER TOPS, ALL PLUMBING FIXTURES, ALL DRINKING FOUNTAINS, ALL CONCEALED WATER COOLERS, ALL LAVATORIES, ALL URINALS, ALL TOILETS SHALL BE STRICTLY ENFORCED
- APPLY BITUMINOUS COATING TO ALL CONCEALED STRUCTURAL STEEL MEMBERS AT ALL EXTERIOR CANOPY LOCATIONS
- REFER TO OTHER DISCIPLINE DOCUMENTS FOR ADDITIONAL SCOPE OF WORK

WALL LEGEND

- EXISTING WALLS TO REMAIN
- CONCRETE MASONRY UNIT
- NEW WALL PARTITION, RE-6801A



02 ENLARGED PLAN - ACETYLENE STORAGE AREA
1/4" = 1'-0"

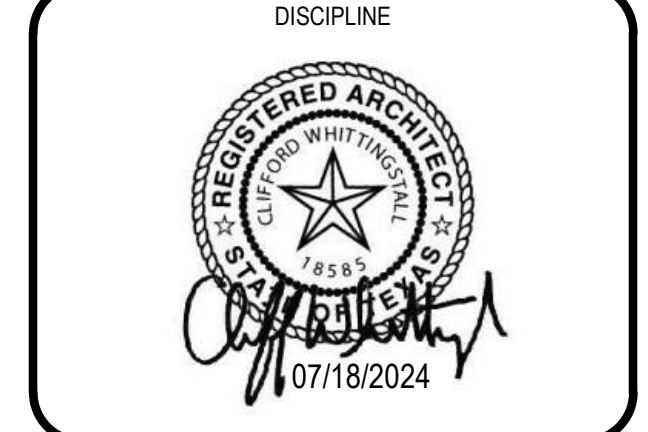
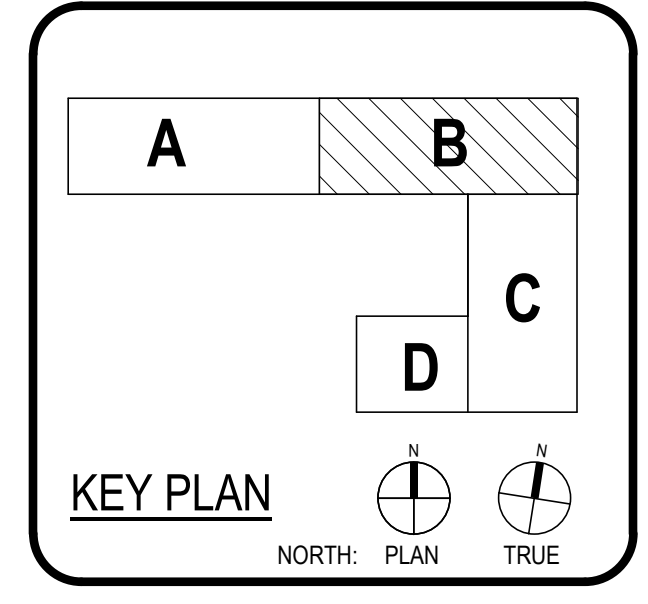
01 ENLARGED PLAN - WELDING A
1/4" = 1'-0"



ARCHITECT
PBK Architects, Inc.
 6316 North 10th Street, Suite 1
 McAllen, TX 78504
 956-687-1330 P
 956-687-1331 F
 TX Firm: F-1698

WELDER-ESAB INC.
 1350 9th Street
 El Paso, TX 79902
 CHAMBERLAIN ENGINEERING
 1100 E. Elroy Ln.
 Edinburg, TX 78541
 W33 MILLER ENGINEERS
 1315 W. 10th Street
 Edinburg, TX 78541
 BUILDING INSPECTOR
 LEAD PROFESSIONAL
 1 210-538-7245

ECISD BARRIENES
EDINBURG CTE CENTER
 1100 E Elroy Ln.
 Edinburg, TX 78539
 ADDRESS/ID/UMF7



CLIENT
ECISD BARRIENES
 DATE 07/18/2024 PROJECT NUMBER 20217

No.	Description	Date
4	City Comments	7-2-2024

ADDENDUM#7
 BUILDING NUMBER 01

ENLARGED PLANS - WELDING

A-404

SECTION 00 01 10 - TABLE OF CONTENTS

GENERAL

RESPONSIBILITY

Each section is the responsibility of the discipline indicated by the letter in parenthesis following the section name as indicated in Section 00 01 07 - Seals Page with the following exceptions:

(O): Section provided by School District.

DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

- 00 01 03 - Project Directory (A)
- 00 01 07 - Seals Page (A)
- 00 01 10 - Table of Contents (A)
- 00 11 19 - Request for Proposal (O)
- 00 21 16 - Instructions to Proposers (CSP) (A)
- 00 40 01 - Proposal Bond (A)
- 00 40 11 - Felony Conviction Notification (A)
- 00 40 12 - List of Subcontractors (A)
- 00 40 13 - Affidavit of Non-Discriminatory Employment (A)
- 00 40 14 - Affidavit of Non-Asbestos, Lead, and PCB Use (A)
- 00 40 17 - Certification of Criminal History Record Information Review by Contractor-Employer (A)
- 00 40 18 - Conflict of Interest Questionnaire (A)
- 00 40 20 - Certificate of Interested Parties (A)
- 00 42 00 - Proposal Forms (A)
- 00 45 00 - Selection Criteria and Contractor Information (A)
- 00 45 19 - Non-Collusion Affidavit (A)
- 00 50 00 - Texas Statutory Performance Bond (A)
- 00 50 01 - Texas Statutory Payment Bond (A)
- 00 52 00 - Agreement Forms (Draft AIA A101-2017) (O)
- 00 65 01 - Proposal Evaluation Waiver (A)
- 00 65 19.16 - Affidavit of Release of Liens Form (A)
- 00 70 00 - Conditions of the Contract (A)
- 00 72 00 - General Conditions (AIA A201) (O)
- 00 73 43 - Wage Rate Requirements (Texas) (A)
- 00 73 46 - Wage Determination Schedule (A)

DIVISION 01 - GENERAL CONDITIONS

- 01 10 00 - Summary (A)
- 01 21 00 - Allowances (A)
- 01 22 00 - Unit Prices (A)
- 01 23 00 - Alternates (A)
- 01 25 13 - Product Substitution Procedures (A)
- 01 25 13.01 - Request for Substitution Form (A)
- 01 26 00 - Contract Modification Procedures (A)

- 01 29 00 - Payment Procedures (A)
- 01 29 73 - Schedule of Values (A)
- 01 31 00 - Project Management and Coordination (A)
- 01 32 00 - Construction Progress Documentation (A)
- 01 32 33 - Photographic Documentation (A)
- 01 33 00 - Submittal Procedures (A)
- 01 35 16 - Alteration Project Procedures (A)
- 01 35 43.13 - Environmental Procedures for Hazardous Materials (A)
- 01 35 46 - Indoor Air Quality Procedures (A)
- 01 40 00 - Quality Requirements (A)
- 01 42 00 - References (A)
- 01 42 16 - Definitions (A)
- 01 45 23 - Testing and Inspecting Services (A)
- 01 50 00 - Temporary Facilities and Controls (A)
- 01 55 00 - Vehicular Access and Parking (A)
- 01 56 00 - Temporary Barriers and Enclosures (A)
- 01 57 13 - Temporary Erosion and Sediment Control (A)
- 01 60 00 - Product Requirements (A)
- 01 61 16 - Volatile Organic Compound (VOC) Content Restrictions (A)
- 01 73 00 - Execution (A)
- 01 73 29 - Cutting and Patching (A)
- 01 74 19 - Construction Waste Management and Disposal (A)
- 01 77 00 - Closeout Procedures (A)
- 01 77 01 - Closeout Form A - Subcontractor's Affidavit of Release of Lien (A)
- 01 77 02 - Closeout Form B - Subcontractor Hazardous Material Certificate (A)
- 01 77 03 - Closeout Form C - Subcontractor Warranty (A)
- 01 77 04 - Closeout Form D - Certification of Project Compliance (A)
- 01 78 23 - Operation and Maintenance Data (A)
- 01 78 39 - Project Record Documents (A)
- 01 79 00 - Demonstration and Training (A)
- 01 91 13 - General Commissioning Requirements (A)

DIVISION 02 - EXISTING CONDITIONS

- 02 41 00 - Demolition (A)
- 02 82 00 - Asbestos Remediation (A)

DIVISION 03 - CONCRETE

- 03 10 00 - Concrete Forms and Accessories (S)
- 03 20 00 - Concrete Reinforcing (S)
- 03 30 00 - Cast-in-Place Concrete (S)
- 03 35 00 - Concrete Finishing (A)
- 03 35 00 - Concrete Finishing (S)

- 03 39 00 - Concrete Curing (S)
- 03 54 00 - Cast Underlayment (A)
- 03 60 00 - Grouting (S)

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- 04 01 20 - Maintenance of Unit Masonry (A)
- 04 05 00 - Common Work Results for Masonry (A)
- 04 05 14 - Masonry Mortar and Grout (S)
- 04 20 00 - Unit Masonry (A)
- 04 20 16 - Reinforced Unit Masonry Assemblies (S)

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- 05 21 00 - Steel Joist Framing (S)
- 05 31 23 - Steel Roof Decking (S)
- 05 40 00 - Cold Formed Metal Framing (S)
- 05 50 00 - Metal Fabrications (A)
- 05 75 00 - Decorative Formed Metal (A)

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- 06 10 00 - Rough Carpentry (A)
- 06 16 00 - Sheathing (A)
- 06 20 00 - Finish Carpentry (A)
- 06 83 16 - Fiberglass Reinforced Paneling (A)

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- 07 16 00 - Below Grade Waterproofing (A R)
- 07 21 00 - Thermal Insulation (A)
- 07 27 26 - Fluid-Applied Air Barrier System (A R)
- 07 41 13 - Prefinished Metal Roofing (A R)
- 07 51 10 - Built-Up Roofing Repair (A R)
- 07 54 19 - Modified Bitumen "Cool Roof" Membrane Roofing System (A R)
- 07 62 00 - Roof Related Sheet Metal (A R)
- 07 65 00 - Flexible Flashing (A R)
- 07 71 23 - Manufactured Gutters and Downspouts (A)
- 07 72 00 - Roof Accessories (A R)
- 07 72 33 - Roof Scuttle & Cross Over (A R)
- 07 84 13 - Penetration Firestopping (A)
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- 08 11 13 - Hollow Metal Doors and Frames (A)
- 08 14 16 - Flush Wood Doors (A)
- 08 33 23 - Overhead Coiling Doors (A)

08 43 13 - Aluminum-Framed Storefronts (A)

08 71 00 - Finish Hardware (H)

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09 05 61 - Common Work Results for Flooring Preparation (A)

09 21 16 - Gypsum Board Assemblies (A)

09 30 00 - Tiling (A)

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10 11 00 - Visual Display Units (A)

10 14 00 - Signage (A)

10 21 13.16 - Plastic-Laminate-Clad Toilet Compartments (A)

10 21 23 - Cubicle Curtains and Track (A)

10 26 00 - Wall and Door Protection (A)

10 28 00 - Toilet, Bath, and Laundry Accessories (A)

10 43 00 - Emergency Aid Specialties (A)

10 44 00 - Fire Protection Specialties (A)

10 51 13 - Metal Lockers (A)

10 56 13 - Metal Storage Shelving (A)

10 56 17 - Wall-Mounted Standards and Shelving (A)

10 56 26 - Mobile Storage Shelving (A)

10 73 16.13 - Metal Canopies (A)

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11 21 73 - Commercial Laundry and Dry Cleaning Equipment (A)

11 30 13 - Residential Appliances (A)

11 40 00 - Foodservice Equipment (F)

11 46 83 - Ice Machines (A)

11 90 00 - Miscellaneous Equipment (A)

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12 21 13 - Horizontal Louver Blinds (A)

12 36 00 - Countertops (A)

DIVISION 13 - SPECIAL CONSTRUCTION

NOT USED

DIVISION 14 - CONVEYING EQUIPMENT

~~NOT USED~~

~~14 45 13 - Vehicle Service Lifts (A)~~

DIVISION 21 - FIRE SUPPRESSION

NOT USED

DIVISION 22 - PLUMBING

- 22 05 17 - Sleeves and Sleeve Seals for Plumbing Piping (P)
- 22 05 18 - Escutcheons For Plumbing Piping (P)
- 22 05 23.12 - Ball Valves For Plumbing Piping (P)
- 22 05 23.14 - Check Valves For Plumbing Piping (P)
- 22 05 29 - Hangers and Supports for Plumbing Piping and Equipment (P)
- 22 05 53 - Identification for Plumbing Piping and Equipment (P)
- 22 05 93 - Testing, Adjusting, And Balancing For Plumbing (P)
- 22 07 19 - Plumbing Piping Insulation (P)
- 22 11 16 - Domestic Water Piping (P)
- 22 11 19 - Domestic Water Piping Specialties (P)
- 22 11 23.21 - Inline, Domestic-Water Pumps (P)
- 22 13 16 - Sanitary Waste and Vent Piping (P)
- 22 13 19 - Sanitary Waste Piping Specialties (P)
- 22 13 23 - Sanitary Waste Interceptors (P)
- 22 15 13 - General-Service Compressed-Air Piping (P)
- 22 33 00 - Electric, Domestic-Water Heaters (P)
- 22 42 13.13 - Commercial Water Closets (P)
- 22 42 13.16 - Commercial Urinals (P)
- 22 42 16.13 - Commercial Lavatories (P)
- 22 42 16.16 - Commercial Sinks (P)
- 22 45 00 - Emergency Plumbing Fixtures (P)
- 22 47 16 - Pressure Water Coolers (P)

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- 23 05 00 - Mechanical General Requirements (M)
- 23 05 13 - Common Motor Requirements for HVAC Equipment (M)
- 23 05 17 - Sleeves and Sleeve Seals for HVAC Piping (M)
- 23 05 18 - Escutcheons For HVAC Piping (M)
- 23 05 19 - Meters and Gauges for HVAC Piping (M)
- 23 05 23.12 - Ball Valves For HVAC Piping (M)
- 23 05 23.13 - Butterfly Valves For HVAC Piping (M)
- 23 05 29 - Hangers and Supports for HVAC Piping and Equipment (M)
- 23 05 48.13 - Vibration Controls For HVAC (M)
- 23 05 53 - Identification for HVAC Piping and Equipment (M)
- 23 05 93 - Testing, Adjusting, and Balancing for HVAC (M)

- 23 07 13 - Duct Insulation (M)
- 23 07 19 - HVAC Piping Insulation (M)
- 23 08 00 - Commissioning of HVAC (M)
- 23 09 00 - Instrumentation and Control for HVAC (M)
- 23 09 23 - Direct-Digital Control (DDC) System for HVAC (M)
- 23 09 23.11 - Control Valves (M)
- 23 09 23.12 - Control Dampers (M)
- 23 09 23.14 - Flow Instruments (M)
- 23 09 23.16 - Gas Instruments (M)
- 23 09 23.19 - Moisture Instruments (M)
- 23 09 23.21 - Motion Instruments (M)
- 23 09 23.22 - Position Instruments (M)
- 23 09 23.23 - Pressure Instruments (M)
- 23 09 23.27 - Temperature Instruments (M)
- 23 09 93.11 - Sequence Of Operations For HVAC DDC (M)
- 23 21 13 - Hydronic Piping (M)
- 23 21 16 - Hydronic Piping Specialties (M)
- 23 25 13 - Water Treatment For Closed-Loop Hydronic Systems (M)
- 23 29 23 - Variable Frequency Drives (M)
- 23 31 13 - Metal Ducts (M)
- 23 33 00 - Air Duct Accessories (M)
- 23 33 46 - Flexible Ducts (M)
- 23 34 23 - HVAC Power Ventilators (M)
- 23 35 33 - Listed Kitchen Ventilation System Exhaust Ducts (M)
- 23 36 00 - Air Terminal Units (M)
- 23 37 13.13 - Air Diffusers (M)
- 23 37 13.23 - Registers And Grilles (M)
- 23 38 13 - Commercial-Kitchen Hoods (M)
- 23 74 16.13 - Packaged, Large-Capacity, Rooftop Air-Conditioning Units (M)
- 23 81 26 - Split-System Air Conditioners (M)
- 23 82 39.16 - Propeller Unit Heaters (M)

DIVISION 25 - INTEGRATED AUTOMATION

NOT USED

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- 26 00 10 - Electrical General Requirements (E)
- 26 05 19 - Low-Voltage Electrical Power Conductors and Cables (E)
- 26 05 26 - Grounding and Bonding for Electrical Systems (E)
- 26 05 29 - Hangers and Supports for Electrical Systems (E)
- 26 05 33 - Raceway and Boxes for Electrical Systems (E)
- 26 05 33.01 - Plug-In Raceway System (E)

- 26 05 44 - Sleeves and Sleeve Seals for Electrical Raceways and Cablin (E)
- 26 05 53 - Identification for Electrical Systems (E)
- 26 05 73.16 - Coordination Studies (E)
- 26 22 00 - Low Voltage Transformers (E)
- 26 24 16 - Panelboards (E)
- 26 25 00 - Track Busway System (E)
- 26 27 26 - Wiring Devices (E)
- 26 27 26.43 - Special-Purpose Power Outlet Assemblies (E)
- 26 27 33 - Power Distribution Units (E)
- 26 28 16 - Enclosed Switches and Circuit Breakers (E)
- 26 43 13 - Surge Protective Devices for Service Entrance and Branch Panels (E)
- 26 51 19 - LED Interior Lighting (E)
- 26 56 19 - LED Exterior Lighting (E)

DIVISION 27 - COMMUNICATIONS

- 27 00 00 - Structured Cabling (E)
- 27 51 23 - eSeries End Point Intercom, Paging, and Emergency Messaging System (E)

DIVISION 28 - SAFETY AND SECURITY

- 28 05 13 - Conductors And Cables For Electronic Safety And Security (E)
- 28 05 28 - Pathways For Electronic Safety And Security (E)
- 28 13 00 - Access Control And Camera Surveillance (E)
- 28 16 00 - Intrusion Detection (E)
- 28 31 11 - Voice Evacuation Fire Alarm (E)

DIVISION 31 - EARTHWORK

- 31 05 13 - Soils for Earthwork (S)
- 31 10 00 - Site Clearing (C)
- 31 10 00 - Site Clearing (S)
- 31 14 00 - Earthwork (C)
- 31 20 00 - Aggregate Materials (C)
- 31 21 00 - Rock Removal (C)
- 31 22 00 - Excavation Backfill Pavement (C)
- 31 22 13 - Rough Grading (C)
- 31 23 00 - Excavation Backfill Utilities (C)
- 31 22 13 - Rough Grading (S)
- 31 23 00 - Excavation and Fill (S)
- 31 31 16 - Termite Control (S)
- 31 32 00 - Soil Stabilization (C)
- 31 35 00 - Slope Protection And Erosion Control (C)
- 31 36 00 - Retainage Systems (C)

DIVISION 32 - EXTERIOR IMPROVEMENTS

- 32 11 00 - Paving Base Course (C)

32 12 00 - Asphaltic Concrete Paving (C)

32 13 00 -Portland Cement Concrete (C)

32 16 00 - Curb And Sidewalks (C)

32 17 23 - Pavement Markings (C)

DIVISION 33 - UTILITIES

33 11 00 - Water Distribution Systems (C)

33 31 00 - Sanitary Sewer System (C)

33 39 00 - Sewer Structures (C)

33 41 00 - Storm Sewer Systems (C)

DIVISION 34 - TRANSPORTATION

NOT USED

DIVISION 35 - WATERWAY AND MARINE CONSTRUCTION

NOT USED

DIVISION 40 - PROCESS INTEGRATION

NOT USED

DIVISION 41 - MATERIAL PROCESSING AND HANDLING EQUIPMENT

41 22 13.13 - Bridge Cranes

41 22 13.19 - Jib Cranes

DIVISION 42 - PROCESS HEATING, COOLING, AND DRYING EQUIPMENT

NOT USED

DIVISION 43 - PROCESS GAS AND LIQUID HANDLING, PURIFICATION, AND STORAGE EQUIPMENT

NOT USED

DIVISION 44 - POLLUTION CONTROL EQUIPMENT

NOT USED

DIVISION 45 - INDUSTRY-SPECIFIC MANUFACTURING EQUIPMENT

NOT USED

DIVISION 46 - WATER AND WASTEWATER EQUIPMENT

NOT USED

1.1 DIVISION 48 ELECTRICAL POWER GENERATION

END OF SECTION 00 01 10

SECTION 01 23 00 - ALTERNATES

PART 1 GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes:
 - 1. Description of Alternates.
 - 2. Procedures for pricing Alternates.
 - 3. Documentation of changes to Contract Price and Contract Time.

1.3 DEFINITIONS

- A. Refer to Section 01 42 16 - Definitions for the following terms:
 - 1. Alternate

1.4 ACCEPTANCE OF ALTERNATES

- A. Alternates quoted on Bid Forms will be reviewed and accepted or rejected at School District's option. Accepted alternates will be identified in the Owner-Contractor Agreement.
- B. Coordinate related work and modify surrounding work to integrate the Work of each alternate.

1.5 SCHEDULE OF ALTERNATES

- A. Alternate No. 01 - Existing Canopy:
 - 1. Base Bid Item: Patch and repair as necessary.
 - 2. Alternate Item: Demolish existing canopy and replace with aluminum canopy system.
- B. Alternate No. 2 - Entry Canopy:
 - 1. Base Bid Item: No work.
 - 2. Alternate Item: Provide new entry canopy as indicated on Drawings.
- C. Alternate No. 3 - Existing Roof:
 - 1. Base Bid Item: Patch and repair existing roof.
 - 2. Alternate Item: Demolish existing roof and provide new roof.
- D. Alternate No. 4 - Exterior Walls and Columns:
 - 1. Base Bid Item: Power wash exterior walls, columns, etc...
 - 2. Alternate Item: Strip paint and provide new paint, as indicated on Drawings.
- E. Alternate No. 5 - Riser Room Connection:
 - 1. Base Bid Item: Provide connection from Riser Room to existing Riser Room.
 - 2. Alternate Item: Provide connection from Riser Room to Water Main instead of to existing Riser Room.

PART 2 PRODUCTS

NOT USED

PART 3 EXECUTION

NOT USED

END OF SECTION 01 23 00

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SECTION 14 45 13 - VEHICLE SERVICE LIFTS

PART 1 GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes: Requirements including but not limited to:
 - 1. Automotive lift equipment.
 - 2. Accessories necessary for a complete installation.
- B. Related Sections:
 - 1. Section 03 30 00 - Cast-in-Place Concrete.

1.3 REFERENCE STANDARDS

1.4 ADMINISTRATIVE REQUIREMENTS

- A. Coordination: Coordinate installation of vehicle lift system with adjacent construction using necessary attachments; provide anchoring devices in accordance with manufacturer's installation instructions; coordinate installation of cast-in-place components.
 - 1. Electrical System: Coordinate utility and electrical system connections to ensure they are made in an orderly and expeditious manner.
- B. Preinstallation Meeting: Conduct preinstallation meeting one week prior to start of this work on project site; require attendance by affected installers.

1.5 SUBMITTALS

- A. Refer to Section 01 33 00 - Submittal Procedures for submittal procedures.
- B. Product Data: Provide data on material descriptions, construction details, component dimensions and profiles, and finishes; including data on rated capacities, electrical and operating characteristics, and necessary accessories.
- C. Shop Drawings: Provide plans, elevations, sections, and attachment details; include equipment assembly details with dimensions, weights, loads, required clearances, components, size and location of anchors and required field connections, and methods for field assembly; provide diagrams indicating signal, power, and control wiring.
- D. Designer's qualification statement.
- E. Manufacturer's qualification statement.
- F. Installer's qualification statement.
- G. Testing agency's qualification statement.
- H. Maintenance contracts.
- I. Warranty Documentation: Manufacturer's warranty, ensure that forms have been completed in School District's name and registered with manufacturer.
- J. Warranty Documentation: Installer's warranty, ensure that forms have been completed in School District's name and registered with installer.
- K. Project Record Documents: Accurately record actual locations of concealed items, conduit, and components.
- L. Maintenance Materials: Provide the following for School District's use in maintenance of vehicle lifts and equipment.
 - 1. Refer to Section 01 60 00 - Product Requirements for additional provisions.
 - 2. Provide technical information for servicing operating equipment.
 - 3. Spare Parts: Provide parts catalog with complete list of equipment replacement parts; identify each entry with equipment description and identifying code.

4. Provide legible schematic wiring diagrams of installed electrical equipment, and changes made to this part of work; list symbols corresponding to identity or markings on vehicle lifts structural and electrical components.
5. Provide copy of lubrication chart, framed, with clear plastic; mount on wall at location as indicated by Owner's Designated Representative.
6. Tools: One of each special tool, as required for maintenance of designated equipment.

PART 2 PRODUCTS

2.1 AUTOMOTIVE TWO-POST LIFTS

- A. Automotive, 2-Post, Standard Model, 12,000 lb:
 1. Basis of Design:
 - a. SPO12-TA manufactured by Rotary Lift.
 2. Lifting Capacity: 12,000 lb (5,443 kg).
 3. Overall Width: 11 feet 5-5/8 inches (3496 mm).
 4. Overall Height: 13 feet 8 inches (4166 mm).
 5. Drive-Through Width: 102-3/8 inches (2600 mm).
 6. Motor: 2 HP, 208-230V.
- B. Automotive, 2-Post, Standard Model, 16,000 lb:
 1. Basis of Design:
 - a. SPO16-TA manufactured by Rotary Lift.
 2. Lifting Capacity: 16,000 lb (7,257 kg).
 3. Overall Width: 13 feet 5 inches (4089 mm).
 4. Overall Height: 16 feet 6 inches (5029 mm).
 5. Drive-Through Width: 111-11/32 inches (2828 mm).
 6. Motor: 2 HP, 208-230V.
- C. Automotive, 2-Post, Standard Model, 20,000 lb:
 1. Basis of Design:
 - a. SPO16-TA manufactured by Rotary Lift.
 2. Lifting Capacity: 20,000 lb (9,071 kg).
 3. Overall Width: 13 feet 5 inches (4089 mm).
 4. Overall Height: 16 feet 6 inches (5029 mm).
 5. Drive-Through Width: 111-11/32 inches (2828 mm).
 6. Motor: 4 HP, 208-230V.

2.2 AUTOMOTIVE FOUR-POST LIFTS

- A. Automotive Lift, 4-Post, Standard Length, 18,000 lb:
 1. Basis of Design:
 - a. L451 manufactured by Hunter Engineering Company.
 2. Lifting Capacity: 18,000 lb (8,164 kg).
 3. Rise Height: 75 inches (1905 mm).
 4. Overall Length: 21 feet 9-3/4 inches (6648 mm).
 5. Overall Width: 12 feet 0-3/8 inches (3667 mm).
 6. Overall Height: 98 inches (2489 mm).

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify that areas and conditions are in compliance with installation tolerances and other conditions affecting this work.
- B. Verify that locations for electrical rough-in connections to system equipment are in acceptable locations prior to installing equipment.
- C. Verify that electrical power is available and of correct characteristics.

- D. Verify that walls and floors of pits for recessed lift areas are plumb and square, and properly sloped for drainage.
- E. Do not proceed with installation until unacceptable conditions have been corrected.

3.2 PREPARATION

- A. Locate edge of recessed vehicle lifts with tops flush with access drive, and align exposed connecting edges to form hairline joints.
- B. Clean recessed pits and other locations of debris.

3.3 INSTALLATION

- A. Install vehicle lifts system and components in accordance with manufacturer's written installation instructions.
- B. Install vehicle lifts system securely to supporting structure, square to recessed pit, and flush with adjacent surfaces.
- C. Install structural components using methods that comply with requirements indicated relative to layout and structural position.

3.4 ADJUSTING

- A. Adjust lift equipment to operate smoothly and safely.
- B. Verify vertical travel of lift system, and adjust as necessary to maintain operating range indicated.
- C. After installation, inspect exposed factory finished lift equipment, and repair damaged finishes.

3.5 CLEANING

- A. Remove protective coverings from finished surfaces.
- B. Clean surfaces and components.

3.6 CLOSEOUT ACTIVITIES

- A. Refer to Section 01 77 00 - Closeout Procedures for closeout submittals.
- B. Refer to Section 01 79 00 - Demonstration and Training for additional requirements.
- C. Demonstrate proper operation of vehicle lifts to Owner's Designated Representative.
- D. Demonstration: Demonstrate operation of vehicle lift system to School District's personnel.
 - 1. Use operation and maintenance data as reference during demonstration.
 - 2. Conduct walking tour of project.
 - 3. Briefly describe function, operation, and maintenance of each component.
- E. Training: Train School District's personnel on operation and maintenance of system.
 - 1. Use operation and maintenance manual as training reference, supplemented with additional training materials as required.
 - 2. Provide minimum of two hours of training.
 - 3. Instructor: Manufacturer's training personnel.
 - 4. Location: Project site.

3.7 MAINTENANCE

- A. Refer to Section 01 77 00 - Closeout Procedures for additional requirements.
- B. Perform maintenance work using competent personnel, under direct supervision of vehicle lift installer.
- C. Assigning or transfer of maintenance service to any agent or subcontractor is not permitted without prior consent of the School District.
- D. Examine periodically according to manufacturer's recommendation; clean, adjust, and lubricate equipment.

- E. Repair or replace parts whenever required, with parts produced by manufacturer of original equipment.
- F. Provide emergency call back service 24 hours per day during this maintenance period.

END OF SECTION 14 45 13